

Title	Planning Applications
To:	Planning Control Committee
On:	17 April 2012
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Area Board/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based upon the merits of the proposal, and falls within the margin of discretion afforded to the Council

under the Town & Country Planning Acts.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT
INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Area Board-Ward: Bury West - Church	App No. 54717
	Location: Land at Elton Vale Road, Bury BL8 2RZ	
	Proposal: Residential development - 4 no. dwellings, 1 no. water bailiffs cottage and 2 no. units for temporary accommodation for fishing lodges	
	Recommendation: Minded to Approve	Site Visit: N
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02	Area Board-Ward: Ramsbottom + Tottington - Tottington	App No. 54740
	Location: Wesley House, Wesley Street, Tottington, Bury, BL8 3NW	
	Proposal: Demolition of existing building and erection of 12 no. bungalows	
	Recommendation: Approve with Conditions	Site Visit: N
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03	Area Board-Ward: Prestwich - Sedgley	App No. 54764
	Location: 46-48 Bury Old Road, Prestwich, Manchester, M25 0ER	
	Proposal: Demolition of 2 no. detached dwellings; Construction of new apartment building comprising of 14 no. apartments with associated underground parking and amenity space (resubmission)	
	Recommendation: Minded to Approve	Site Visit: N
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04	Area Board-Ward: Radcliffe - West	App No. 54773
	Location: Former Turf Hotel, 143 Water Street, Radcliffe, Manchester, M26 3BJ	
	Proposal: Change of use from public house (Class A4) to ground floor offices (Class B1) and 2 no. flats at first floor with parking at rear	
	Recommendation: Approve with Conditions	Site Visit: N
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05	Area Board-Ward: Whitefield + Unsworth - Unsworth	App No. 54831
	Location: Pilsworth North Quarry, Pilsworth Road, Bury, BL9 8QZ	
	Proposal: Revised restoration and ecological scheme to Pilsworth North Quarry and Landfill (Amending approval 34895)	
	Recommendation: Minded to Approve	Site Visit: N
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06	Area Board-Ward: Radcliffe - East	App No. 54865
	Location: Former Blackburn Street Health Centre, Blackburn Street, Radcliffe, Manchester, M26 1WS	
	Proposal: New pitched roof with solar panels on rear roof plane	
	Recommendation: Approve with Conditions	Site Visit: N
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07	Area Board-Ward: Radcliffe - East	App No. 54875
	Location: 222-224 Durers Lane, Radcliffe, Manchester, M26 2QJ	
	Proposal: Change of use (no. 222) from dwelling (Class C3) to shop (Class A1); Extension at rear and roller shutter door at rear; New shop front and boundary wall to front (resubmission)	
	Recommendation: Approve with Conditions	Site Visit: N

08	Area Board-Ward: Bury East	App No. 54898
	Location: Hilton House, Irwell Street, Bury, BL9 0HZ	
	Proposal: Change of use from offices (Class B1) to medical consulting rooms (Class D1)	
	Recommendation: Approve with Conditions	Site Visit: N
09	Area Board-Ward: Radcliffe - East	App No. 54910
	Location: Bury Street Mill, Bury Street, Radcliffe, Manchester, M26 2GB	
	Proposal: REFURBISHMENT AND ALTERATION OF DERELICT FORMER ENGINEERING WORKSHOP AND STORE (RESUBMISSION OF 54133)	
	Recommendation: Approve with Conditions	Site Visit: N
10	Area Board-Ward: Whitefield + Unsworth - Pilkington Park	App No. 54920
	Location: 195 Bury New Road, Whitefield, Manchester, M45 6GE	
	Proposal: Two storey extension; Provision of 6 no. car parking spaces and new access point off Bury New Road	
	Recommendation: Approve with Conditions	Site Visit: N
11	Area Board-Ward: Bury East	App No. 54942
	Location: Church Inn, 81-83 Spring Street, Bury, BL9 0RN	
	Proposal: External alterations to public house (to enable subdivision of ground floor). Single storey extension to create restaurant/hot food takeaway (Use Class A4 and A5) unit.	
	Recommendation: Approve with Conditions	Site Visit: N
12	Area Board-Ward: Prestwich - Sedgley	App No. 54966
	Location: Pavement on the East Side of Bury Old Road, Prestwich, Manchester, M25 0EG	
	Proposal: Installation of a 17.5m high shareable vodafone street pole radio base station.	
	Recommendation: Approve with Conditions	Site Visit: N

Ward: Bury West - Church

Item 01

Applicant: Morris Homes Ltd

Location: Land at Elton Vale Road, Bury BL8 2RZ

Proposal: Residential development - 4 no. dwellings, 1 no. water bailiffs cottage and 2 no. units for temporary accommodation for fishing lodges

Application Ref: 54717/Full

Target Date: 10/02/2012

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement to restrict intensification of the use of the fishing lodges pursuant to Policy RT3/2 - Additional provision for recreation in the countryside of the adopted Unitary Development Plan. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The application site covers 0.4 hectares and was part of a former bleach works. The bleach works was located to the south of the site at a lower level and the application site was separated from the main site by a brook. The site is generally flat but slopes down to the brook. The site consists of unmanaged grassland and trees on the boundaries and is used for informal car parking. The site is accessed from a narrow single track lane to the east of the site, which connects with Melrose Avenue.

The site of the former bleach works (to the south of the brook) is currently undergoing redevelopment for 16 residential dwellings and these dwellings are accessed from Elton Vale Road. As part of the Morris Homes development, an access road and bridge would be constructed to allow access to the reservoir. The reservoir, which also forms part of a Site of Biological Interest, is located to the west of the site and there are allotments to the east. There are more residential dwellings to the north east and playing fields to the north.

Planning permission was granted in April 2011 for the provision of a water bailiff's cottage with an integral visitor centre/booking office, 4 holiday lets and a toilet block. This scheme is for the same site and proposes a different development.

The applicant seeks permission for 4 residential dwellings, 1 water bailiff's cottage and 2 holiday let cottages in conjunction with the adjacent fishing lodge. The proposed dwellings would be a mix of 2/2.5 storeys and constructed from red and buff brick and roof tile. The water bailiff's cottage and holiday lets would be single storey and constructed from reclaimed brick and slate. A car park of 15 spaces would be provided for use by visitors to the fishing lodge, including the holiday lets and day visitors, which would be accessed from the new bridge and access road through the adjacent Morris Homes development (Lodge Side).

Relevant Planning History

42354 - Visitors centre with living accommodation and car parking; alterations to access from Melrose Avenue at Elton Vale Reservoir, off Melrose Avenue, Bury. Withdrawn - 25 November 2004

44502 - Water bailiff's cottage, disabled anglers' facility and anglers' car park at Elton Vale Reservoir, off Melrose Avenue, Bury. Refused - 28 June 2005

53763 - Erection of 5 dwellings (4 to be used as holiday lets); visitor centre and store/toilet block; creation of car park and associated landscaping at land off Elton Vale Road, adjacent

Elton Vale Reservoir (Parker's Lodges), Bury. Approved with conditions - 19 April 2011.

Adjacent site

48809 - 15 detached dwellings at Elton Vale Works, Elton Vale Road, Bury. Refused - 29 May 2008

The application was refused as there was an oversupply of housing within the Borough and the proposed development did not provide any affordable housing.

51623 - Residential development - 16 No. dwellings at Former Elton Vale Works, Elton Vale Road, Bury. Approved with conditions - 10 March 2010

Publicity

55 neighbouring properties (1 - 19 Lodge Side; 1 - 4 Foulds Avenue; 10 - 18 (evens) Greenway Close; 11 Garstang Drive; 2 - 8 (evens), 12, Apartments 1 - 5 Elton House, Elton Cottage, Elton Grange, Elton Grange Farm, Elton Villa, Elton Vale, Stables Cottage, Elton Vale Road; 216, 220, 222 Ainsworth Road; 5, 8 Sandhurst Close; 9 Stainforth Close) were notified by means of a letter on 23 December 2011 and 4 January 2012 and a press notice was published in the Bury Times on 12 January. Site notices were posted on 6 January 2012.

7 letters have been received from the occupiers of Apartment 4, Elton House, Elton Vale Road; 1, 2, 4, 5, 7, 9, 10, 12, 14, 15, 17, 19 Lodge Side; Elton Cricket Club, Leigh Lane; Elton Vale Preservation Committee, which have raised the following issues:

- Impact upon nearby residents during construction as the previous development was conducted in a shoddy manner.
- Proposed dwellings would directly overlook the rear gardens and dwellings on Lodge Side.
- 24 parking spaces are proposed for use by residents and fishermen, which will not be enough and result in parking in Lodge Side, for a significant period of time.
- Is the access, single track in places, suitable for any further development.
- Removal of the gated access may encourage more walkers to visit the area, causing further disruption to residents.
- Additional parking should be provided for day anglers and retention of the access along Diggle Lane.
- The hours of activity on the fishing lodge should be restricted to daytime and early evening only.
- Fishermen have used the Lodge Side access to the lodges.
- Loss of privacy and light.
- No objections to the residential element (4 dwellings).

57 neighbouring properties (those listed above plus Elton Cricket Club and Elton Vale Preservation Committee) were notified of revised plans by means of a letter on 22 February 2012.

6 letters have been received from the occupiers of 1, 10, 15, 17, 19 Lodge Side, which have raised the following issues:

- Object to the high volume of traffic through the residential estate.
- Impact in terms of anti-social behaviour
- Despite the revised parking details, there is still insufficient parking available.
- The holiday let cottages have 2 bedrooms and not 1 as stated on the parking assessment.
- The improvements in facilities may lead to an increased use and competitions. How would this be managed? Would there be enough parking for competitions?
- How would the restriction of 45 members be enforced?
- Would the lodges be used during the night?
- The proposed development would be an intensification when compared to the previous permission.
- It would be impractical for residents to control parking on Lodge Side.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments to be reported in supplementary report.

Drainage Section - No objections, subject to the inclusion of condition relating to foul and surface water drainage.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Wildlife Officer - No objections, subject to the inclusion of conditions relating to nesting birds, Japanese Knotweed, Himalayan Balsam and landscaping.

Waste Management - Prefer to see a more suitable location for the bins without crossing the proposed bridge. Otherwise the access bridge would need to support the weight of a 32 tonne refuse vehicle and the turning circle between kerbs would need to be a minimum of 17.88m or 19.39m between walls. length of refuse vehicle is 13.1m for loading and 2.5m width minimum.

Public Rights of Way Officer - No objections, provided public footpath 148 is not used as access to the site.

Environment Agency - No objections, subject to the inclusion of conditions relating to details of the embankment access road and bridge crossing, surface water run-off, Himalayan balsam and Japanese Knotweed and contaminated land.

GM Fire Service - No objections, subject to the provision of sprinklers.

Design for security - No objections.

Coal Authority - No objections.

Baddac - No objections, subject to the inclusion of conditions relating to provision of disabled parking and materials for footpaths.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN5/1	New Development and Flood Risk
EN6/2	Sites of Nature Conservation Interest LNR's
EN6/3	Features of Ecological Value
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
EN9	Landscape
RT3/2	Additional Provision for Recreation in the Countryside
RT3/4	Recreational Routes
RT4/3	Visitor Accommodation
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD 9	Conversion and Re-use of Buildings in the Green Belt
NPPF	National Planning Policy Framework

Issues and Analysis

Principle - The site is currently unallocated in the Unitary Development Plan.

Policy H1/2 states that the Council will have regard to various factors when assessing a

proposal for housing development, including the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

Policy RT4/3 states that the Council will encourage and support proposals for development which would extend the range of visitor accommodation in the Borough. Any development will be assessed against the following factors:

- the appropriateness in terms of the design, scale and setting and the effect on the character, quality and visual amenity of the locality;
- the provision of satisfactory access;
- ability to accommodate the necessary car parking, service areas and landscaping in the site.

The application site is bounded by residential development to the north and south of the site and as such, the proposed development would not conflict with the surrounding land uses. The proposed holiday lets would widen the range of visitor accommodation within the borough. The proposed development would be appropriate in terms of scale and the other issues will be discussed later in the report. The principle of holiday let accommodation was established with the grant of planning permission in April 2011. Therefore, the proposed development is acceptable in principle and would be in accordance with Policies H1/2 and RT4/2 of the adopted Unitary Development Plan.

Layout/design

The proposed residential dwellings would be detached and 2 and a half storeys in height. The provision of bay windows and canopies help to break up the elevations. The proposed dwellings would be constructed from a red and buff brick and a slate grey tile. The proposed materials would add interest to the elevations and would not be unduly prominent within the locality.

The proposed water bailiffs cottages would be single storey with rooms in the roof space and the proposed holiday lets would be single storey. The proposed buildings would be traditional in terms of design and would be constructed from red brick and grey slate tile. Therefore, the proposed development would not be unduly prominent within the locality and would be in accordance with Policies H2/1, H2/2 and RT4/3 of the Unitary Development Plan.

Impact upon surrounding area - SPD6 provides guidance on aspect standards between residential properties and would be relevant in this case. The existing dwellings would be between 3 and 3.3 metres lower than the ground level on the application site. As such, a minimum of 23 metres should be provided between directly facing habitable room windows. There would be between 30 and 42 metres between the existing and proposed residential properties, which would be well in excess of the aspect distance in SPD6. Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring residents.

Trees - A number of trees would be removed as part of the works and the majority of these are of poor quality or are self seeded. Additional planting would take place as part of the proposed development and would be located along the brook and the access road to the proposed dwellings. The additional planting would ensure that there would be no significant adverse impact upon the character and appearance of the streetscene and the proposed development would be in accordance with Policy EN8 of the adopted Unitary Development Plan.

Ecology - An Ecological Assessment has been submitted as part of the application. The report concludes that although the site borders a site of biological interest (SBI), there would be no direct impact upon it. The report recommends that measures should be undertaken to ensure that the reservoir and Elton Brook are not contaminated during construction and this would be secured by a condition. Overall, the site contains little ecological value but the woodland and trees provide potential shelter and foraging habitat for a range of species of

birds, mammals, amphibians and invertebrates.

The Wildlife Officer has no objections to the scheme, subject to the inclusion of conditions relating to timing of vegetation clearance, the removal of Himalayan Balsam and a landscaping plan to ensure the maintenance of the wildlife corridor. Therefore, the proposed development would not have an adverse impact upon the SBI or any features of ecological value and would be in accordance with Policy EN6/2 and EN6/4 of the adopted Unitary Development Plan.

Flood risk - A Flood Risk Assessment (FRA) has been submitted as part of the proposal and states that surface water run off would be restricted to the current rate and surface water storage would be provided. The Environment Agency has no objections in principle, subject to the inclusion of conditions relating to details of the embankment road and bridge link. Therefore, the proposed development would not have an adverse impact upon flood risk and would be in accordance with Policy EN5/1 of the adopted Unitary Development Plan and PPS25.

Highways issues - The site is currently accessed from the narrow track along Diggle lane, which is currently used by anglers visiting the site. This access would be blocked up and a new access would connect to the bridge and road serving the adjacent Morris Homes site. The proposed access would be 5 metres wide before the bridge, with a passing place and would be a minimum of 4.8 metres wide serving the residential dwellings and holiday let cottages. The agent has structural calculations for the bridge, which indicate that it would be able to support a 32 tonne refuge truck providing a 10mph speed limit is applied and signage to ensure only 1 vehicle is on the bridge at any one time and this would be secured by a condition. The Traffic Section has no objections in principle to the proposal and further comments will be reported in the supplementary report.

The Public Rights of Way Officer welcomes the reduction in the number of vehicles using Diggle Lane, which is a public footpath and the replacement of the gates with a fence. Diggle Lane would not be suitable as an emergency access and GM Fire Service has no objections to the proposals, subject to the inclusion of a condition requiring all dwellings to be fitted with a sprinkler system. Therefore, the proposed development would be in accordance with Policies H2/1 and H2/2 of the adopted Unitary Development Plan.

Parking - There is no equivalent standard within SPD11 for holiday let accommodation. As a guide, the maximum parking standards for residential development for a 2 bed dwelling is 2.5 spaces per unit, a 3 bed dwelling is 3 spaces per unit and for a 4 bedroom dwelling and above is 3 spaces per unit. Therefore, the proposed development would need to provide 12 spaces for the 4 residential dwellings and 5 spaces for the holiday lets and water bailiffs cottage.

The proposed development would provide 15 spaces for the 4 residential dwellings including the garages, which would be in excess of the parking standards. Some further 5 parking spaces would be provided for the holiday lets and water bailiffs cottage, leaving a minimum of 10 spaces for day visitors.

A parking assessment has been submitted as part of the application, which states that there is a strict limit upon the number of members that can use the lodge and membership is restricted to 45. In addition, it states that the private club does not run competitions or matches and roughly a third of the members are local to the lodge. It is considered that the proposed parking provision would be acceptable based on the current level of activity at the site, but the concerns of the residents are noted in that the future use of the lodges may intensify and the associated impact in terms of parking and residential amenity. As such, it is proposed to restrict the future use of the lodges within a Section 106 agreement, which would be legally binding as a local land charge upon the land owner. Therefore, subject to the completion of the Section 106 agreement, it is considered that the proposed parking provision would be acceptable and would be in accordance with Policy HT2/4 of the adopted Unitary Development Plan and SPD11.

Access - The agent has indicated that there would be no objections to providing 2 disabled parking bays at the site and revised plans will be forwarded to this effect. Baddac were concerned that the material for the proposed footpaths may restrict access. As such, it is proposed to control the type of surfacing used by a condition. Therefore, the proposed development would be accessible for all and would be in accordance with Policy HT5/1 of the Unitary Development Plan.

Response to objectors

The issues raised have been addressed within the report with the exception of noise and disturbance during construction. Noise and disturbance during construction is not a material planning consideration and as such, cannot be taken into account. However, this issue would be dealt with by the Environmental Protection Act.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

The proposed development is acceptable in principle and would not have an adverse impact upon the amenity of the neighbouring residents. The proposed development would not be unduly prominent and would not be detrimental to highway safety.

There are no other material considerations that outweigh this finding.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered N183/P/LP02, N183/P/PL01 Rev R, N183/P/COT01, N183/P/HTSTRA/01, N183/P/HTSTRA/02, N183/P/HTBR/01, N183/P/HTBR/02, N183/P/HIWIN/01, N183/P/HIWIN/02, N183/P/HTHAWA/01, N183/P/HTHAWA/02, F1-1, GR1, 03225/23/1/Rev A, 03225/23/2/Rev A, SCP/11245/SPA03, 2535.02 D, Tree survey plan - dated 10/11/2010 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to Section 11 of the National Planning Policy Framework.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each

stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to Section 11 of the National Planning Policy Framework.

5. Following the provisions of Condition 3 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to Section 11 of the National Planning Policy Framework.
6. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year unless otherwise agreed in writing with the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
7. No development shall commence until full details of a scheme for the eradication and/or control of Himalayan Balsam (*Impatiens Glandulifera*) is submitted to and approved in writing by the Local Planning Authority. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.
Reason. To ensure that the site is free from Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape
8. No development shall commence unless or until a landscape management plan, including long-term design objectives, management responsibilities and maintenance schedules for all landscaped areas (except privately owned domestic gardens) shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall include the following:
 - Detail the extent and type of new planting, including planting schedule, that shall be largely based on native species,
 - Details of maintenance regimes;
 - Details of any new habitat created on site , including proposed new reedbed;
 - Details of treatment of site boundaries and/or buffers around Parkers Lodge SBI and Elton Brook.The approved landscape management plan shall be carried out as approved unless otherwise agreed in writing with the Local Planning Authority.
Reason To ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site pursuant to the following policies of the Bury Unitary Development Plan:
Policy EN6/2 - Sites of Nature Conservation Interest (Local Nature Reserves and Grade B & C Sites of Biological Importance)
Policy EN6/4 - Wildlife Links and Corridors
9. The 2 units of accommodation (labelled COT on plan reference N183/P/PL01 Rev

R) shall not be let to or occupied by any one person or group of persons for a continuous period of longer than one month in any one year and in any event shall not be used as a permanent residential accommodation. The letting records for the units of holiday accommodation shall be kept by the applicant and be made available for inspection by the Local Planning Authority as required.

Reason. To ensure the buildings are retained in use as holiday accommodation pursuant to Policy RT4/3 - Visitor Accommodation and Policy H1/2 - Further Housing Development of the Bury Unitary Development Plan.

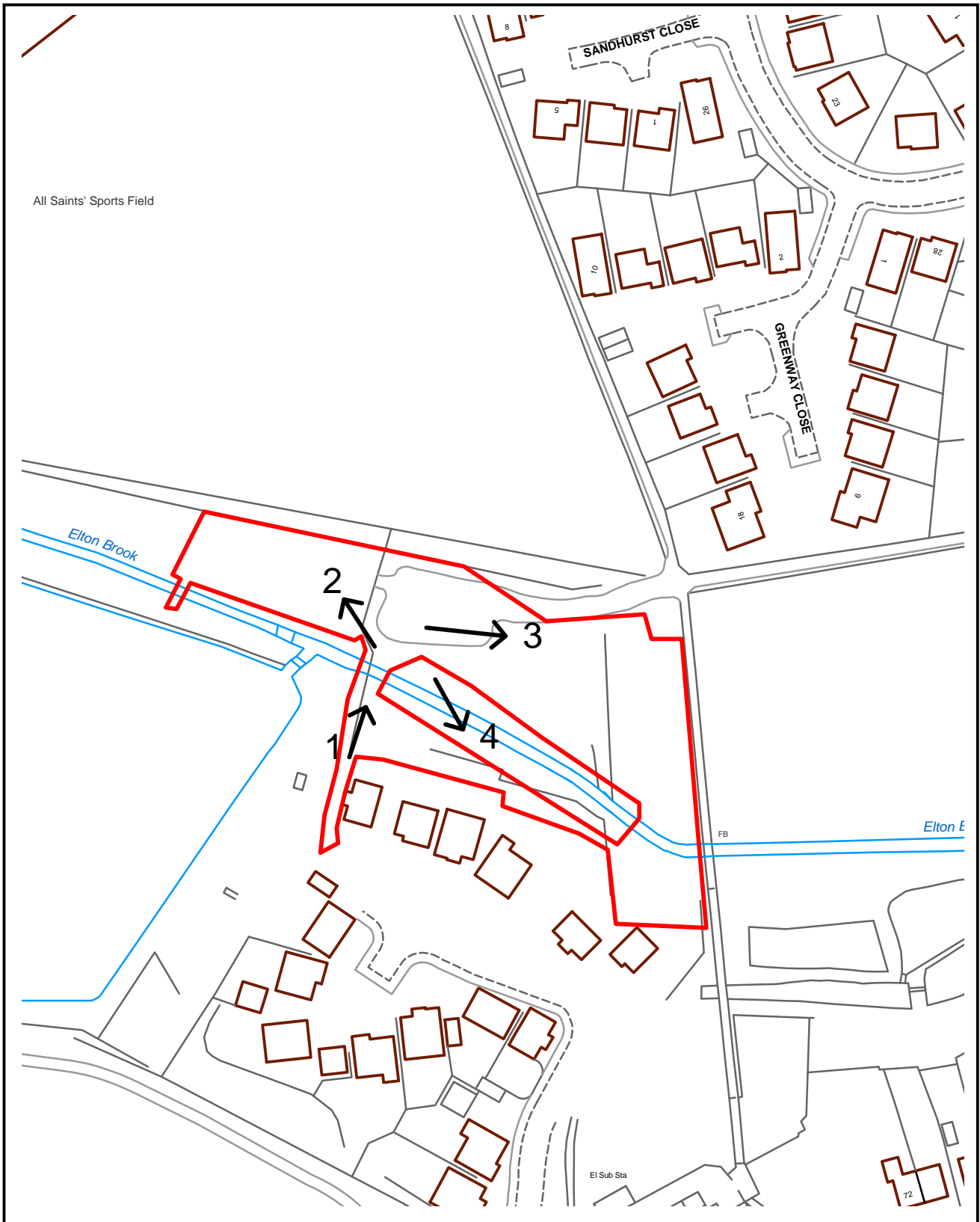
10. The development hereby approved shall not be commenced unless and until full details of proposals to install residential sprinkler systems to BS 9251:2005 or equivalent standard at each dwelling/holiday let, as required by the Greater Manchester Fire and Rescue Service to overcome the site's emergency access deficiencies, have been submitted to and approved in writing by the Local Planning Authority. The details subsequently approved for each dwelling/holiday let shall be implemented prior to the first occupation of each dwelling.
Reason. In the interests of fire safety and to accord with Bury Unitary Development Plan Policy H2/2 - The Layout of New Residential Development.
11. There shall be no direct means of access to the site via Diggle Lane.
Reason. To reduce vehicular movements on a public right of way pursuant to Policy RT3/4 - Recreational Routes of the Bury Unitary Development Plan.
12. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the extension hereby approved being brought into use and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
13. Prior to the commencement of the development hereby approved, details of a scheme for the collection of refuse shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full prior to first occupation of the units hereby approved.
Reason. In order to ensure that the development would maintain adequate facilities for the storage of domestic waste, including recycling containers, in the interests of amenity and pursuant to the following Unitary Development Plan Policies:
Policy H2/2 – The layout of new residential development
Policy EN1/2 – Townscape and built design
14. No development shall commence unless or until full details of the proposed embankment access road and bridge crossing have been submitted to and approved in writing by the Local Planning Authority.
The scheme shall include written confirmation from the reservoir panel engineer in relation to his acceptance of the road construction. It shall be fully implemented in full prior to the buildings hereby approved being first brought into use and subsequently maintained.
Reason. To ensure a satisfactory access and to ensure the structural integrity of the existing reservoir embankment pursuant to Policy EN1/2 - Townscape and Built Development and Policy EN5/5/1 - New Development and Flood Risk of the Bury Unitary Development Plan.
15. No development shall commence unless or until details of the surface water regulation system has been submitted to and approved in writing by the Local Planning Authority. The scheme shall limit run-off to no more than 4 litres per second. The approved scheme shall be implemented in full prior to the buildings hereby approved being first brought into use and subsequently maintained.

Reason. To reduce the risk of flooding to the development and elsewhere pursuant to Policy EN5/1 - New Development and Flood Risk of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

16. No development shall commence unless or until full details of signage indicating a speed restriction of 10mph to the bridge and a stop and allow oncoming vehicles right of way off the bridge on both sides of the bridge have been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full prior to first occupation of the buildings hereby approved.
Reason. To ensure the structural integrity of the bridge and access to the site is maintained pursuant to the following Policies of the Bury Unitary Development Plan:
Policy EN1/2 - Townscape and Built Design
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
17. Details/Samples of the materials to be used in the external elevations and the surfacing for the footpaths, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
18. A landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54717

**ADDRESS: Land at Elton Vale Road
Bury**



Planning, Environmental and Regulatory Services 1:1250

(C) Crown Copyright and database right (2011). Ordnance Survey 100023063.

54717

Photo 1



Photo 2

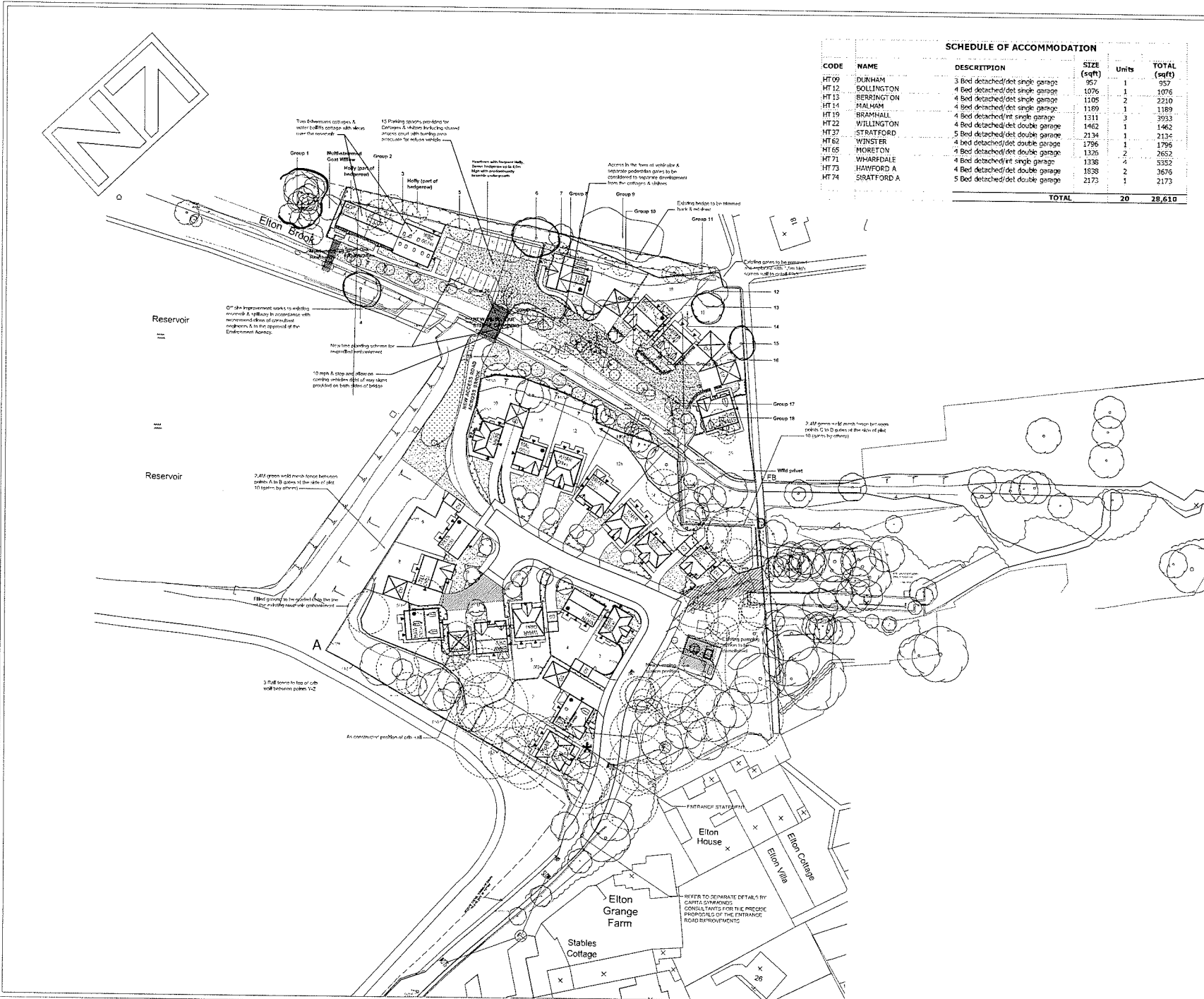


Photo 3



Photo 4





CODE	NAME	DESCRIPTION	SIZE (sqft)	Units	TOTAL (sqft)
HT 09	DUNHAM	3 Bed detached/det single garage	957	1	957
HT 12	BOLLINGTON	4 Bed detached/det single garage	1076	1	1076
HT 13	BERRINGTON	4 Bed detached/det single garage	1105	2	2210
HT 14	MALHAM	4 Bed detached/det single garage	1189	1	1189
HT 19	BRAMHALL	4 Bed detached/det single garage	1311	1	1311
HT 22	WILLINGTON	4 Bed detached/det double garage	1462	1	1462
HT 37	STRATFORD	5 Bed detached/det double garage	2134	1	2134
HT 53	WINSTER	4 Bed detached/det double garage	1796	1	1796
HT 65	MORSTON	4 Bed detached/det double garage	1325	2	2652
HT 71	WHARFDALE	4 Bed detached/det single garage	1338	2	2676
HT 73	HAWFORD A	4 Bed detached/det double garage	1838	2	3676
HT 74	STRATFORD A	5 Bed detached/det double garage	2173	1	2173
TOTAL				20	28,610

LEGEND

- Proposed dwelling
- Proposed dwelling to be built opposite house
- Proposed brick built garage
- Proposed garage canopy
- Common areas of shared drives in red hatched format to be delineated
- Proposed 1.8m high feather edge boarded timber screen fence with P.C.C. posts & gravel boards
- Proposed 1.8m high feather edge boarded timber screen fence with 600mm trellis top
- Proposed 1.8m high screen wall
- Proposed timber 3 rail ranch style fence
- Proposed 0.45m high timber post & rail discoidal fence
- Existing hedge to be retained
- Existing hedge to be removed
- Existing tree to be retained
- Existing tree to be removed

MATERIALS SCHEDULE

Block Type	Roof Tile	Door Colour
CM Redox County Mature	Rusval Granplan	(a) stain - Green woodstain in mahogany stain like or similar
GG Redox Greenvor Gold	White Grey concrete	(b) stain - DuLux 'Tulbright Blue' BS20-C-40 stain like or similar
		(c) white
		(d) black

ROOF TILE - Redwood or similar approved Amulor grey ridge tile
MORTAR - Natural with 3mm reprocessed lime
WINDOW FRAME - White UPVC with horizontal bar
FRENCH DOORS - White UPVC
STONE SILLS - Buff ashstone to front elevation only
RAINWATER GOODS & SUPS - Polyglaz 3 round gutters & circular downpipes in black
EDGY STAINED TIMBER - Custom stained (high quality) decking where applicable
BLACK UPVC - Frames & roofs to GRP canopy roof & prefered doors to be provided by manufacturer
WHITE UPVC - Cladding to side of front entrance porch
METER BOXES - To be painted black and sealed with black plastic conduit
PAVING FLAGS - 600 x 600 Hawshale Grey crushed stone
STONE CHIPPINGS - Crushed chippings laid at a depth of 100mm by 200mm wide

H	Provide 100mm deep & 100mm wide drainage to stormwater	100/100	1.00
I	100mm x 100mm x 100mm concrete drainage	100/100	1.00
J	100mm x 100mm x 100mm concrete drainage	100/100	1.00
K	100mm x 100mm x 100mm concrete drainage	100/100	1.00
L	100mm x 100mm x 100mm concrete drainage	100/100	1.00
M	100mm x 100mm x 100mm concrete drainage	100/100	1.00
N	100mm x 100mm x 100mm concrete drainage	100/100	1.00
O	100mm x 100mm x 100mm concrete drainage	100/100	1.00
P	100mm x 100mm x 100mm concrete drainage	100/100	1.00
Q	100mm x 100mm x 100mm concrete drainage	100/100	1.00
R	100mm x 100mm x 100mm concrete drainage	100/100	1.00
S	100mm x 100mm x 100mm concrete drainage	100/100	1.00
T	100mm x 100mm x 100mm concrete drainage	100/100	1.00
U	100mm x 100mm x 100mm concrete drainage	100/100	1.00
V	100mm x 100mm x 100mm concrete drainage	100/100	1.00
W	100mm x 100mm x 100mm concrete drainage	100/100	1.00
X	100mm x 100mm x 100mm concrete drainage	100/100	1.00
Y	100mm x 100mm x 100mm concrete drainage	100/100	1.00
Z	100mm x 100mm x 100mm concrete drainage	100/100	1.00

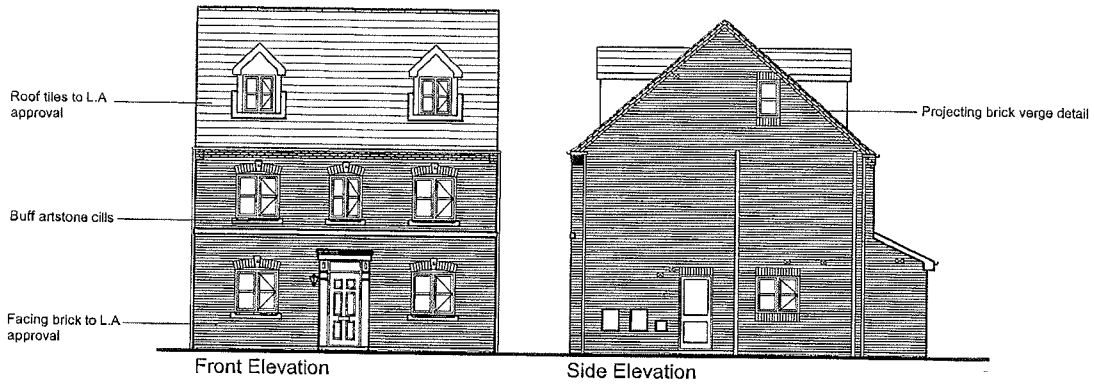
REV	DESCRIPTION	DATE	BY
1	Issue for approval	11/11/20	SM

MORRIS HOMES
 Morris Homes (Group) Limited
 Morland House
 Altrincham Road
 Wilmslow
 Cheshire SK9 5NW
 Tel: (01625) 544 444
 Fax: (0845) 833 1845

Job Title: **ELTON VALE ROAD, BURY.**

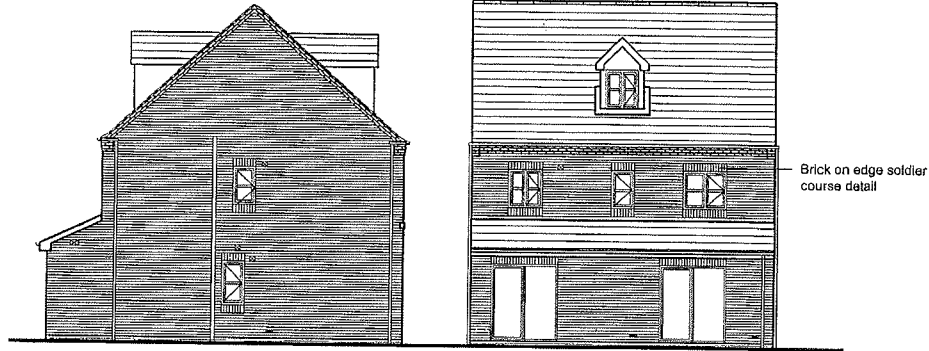
Doc Title: **PLANNING LAYOUT**

REV	DATE	BY	CHKD	SCALE	DRG NO	REV
001	22/07/20	SM	SM	1:500 @ A2	N183/P/PL01	M



Front Elevation

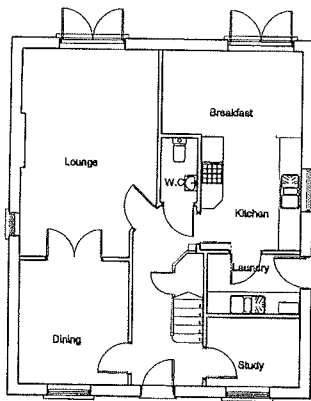
Side Elevation



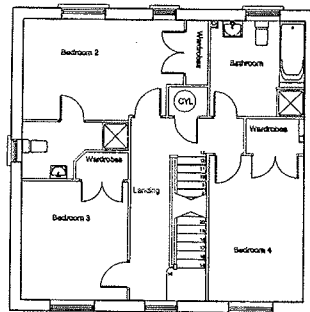
Side Elevation

Rear Elevation

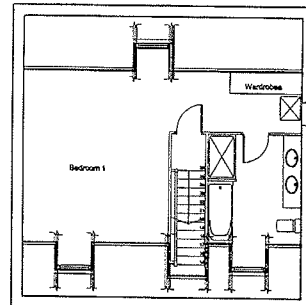
REV	DESCRIPTION	DATE	BY
Morris Homes (Group) Limited Morford House Atterdown Road Walsley Cradock SA9 9WV Tel: (01652) 844 444 Fax: (0845) 833 1845			
PHASE 2 - ELTON LODGE			
HAWFORD A HOUSE TYPE ELEVATIONS			
REV	DESCRIPTION	DATE	BY



GROUND FLOOR PLAN



FIRST FLOOR PLAN



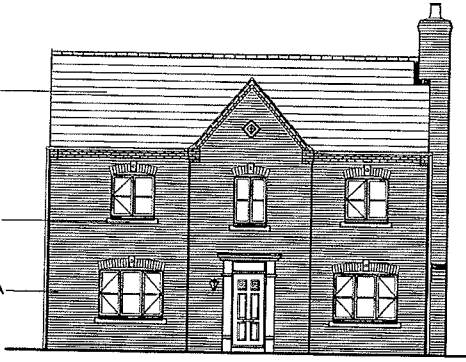
SECOND FLOOR PLAN

REV	DESCRIPTION	DATE	BY
Morris Homes (Group) Limited Morford House Atterdown Road Walsley Cradock SA9 9WV Tel: (01652) 844 444 Fax: (0845) 833 1845			
PHASE 2 - ELTON LODGE			
HAWFORD A HOUSE TYPE FLOOR PLANS			
REV	DESCRIPTION	DATE	BY

Roof tiles to L.A approval

Buff artstone cills

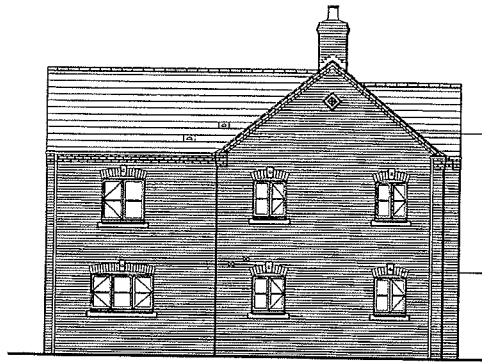
Facing brick to L.A approval



FRONT ELEVATION

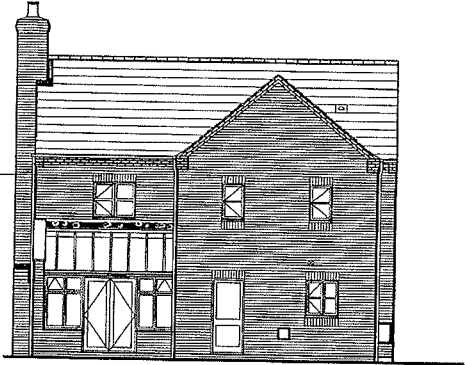
Projecting brick verge detail

Swept brick head with keystone

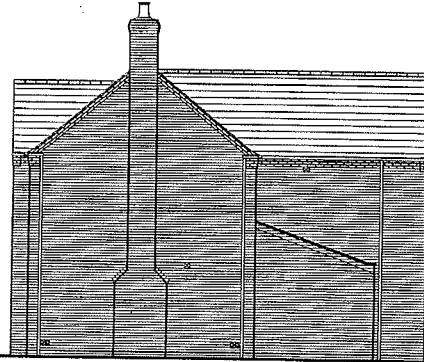


FRONT ELEVATION 2

Brick on edge soldier course detail

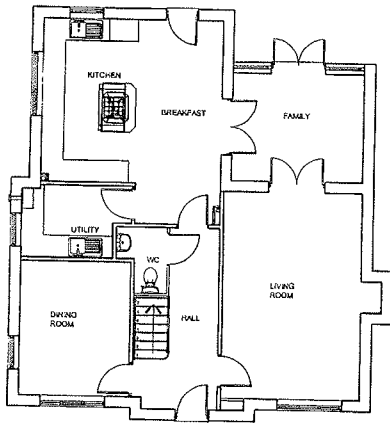


SIDE / REAR ELEVATION

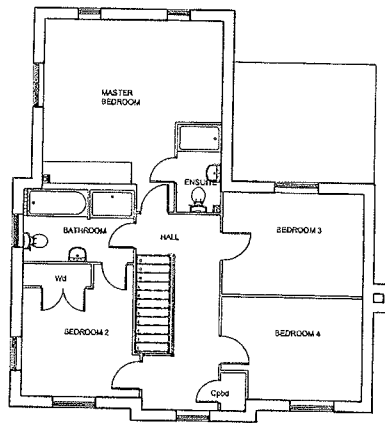


SIDE / REAR ELEVATION

REV	DESCRIPTION	DATE	BY
<p>Morris Homes (Group) Limited Morland House Abchurchham Road Wincoburgh Chester SK9 5SW Tel: (01625) 544 444 Fax: (0845) 833 1845</p>			
<p>MORRIS HOMES</p>			
<p>PHASE 2 - ELTON LODGE</p>			
<p>WINSTER HOUSE TYPE ELEVATIONS</p>			
REV	DESCRIPTION	DATE	BY
01/01/11	0.01	1:100	AD
<p>N183/PHT/WN01</p>			

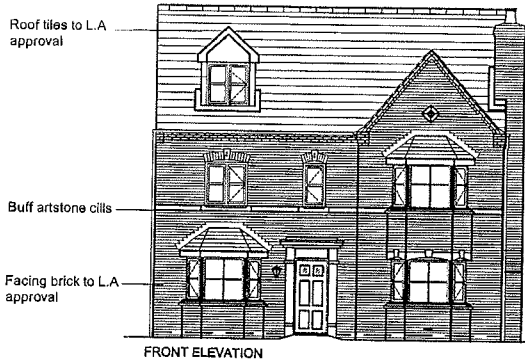


GROUND FLOOR PLAN

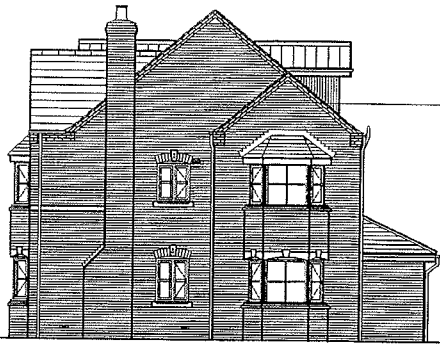


FIRST FLOOR PLAN

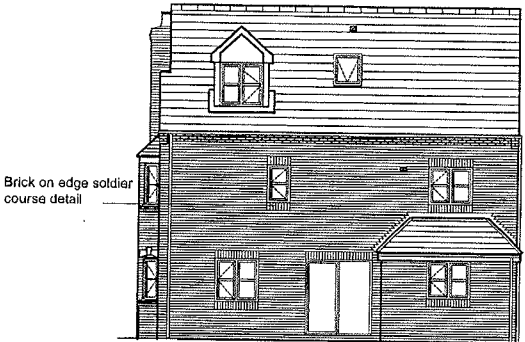
REV	DESCRIPTION	DATE	BY
<p>Morris Homes (Group) Limited Morland House Abchurchham Road Wincoburgh Chester SK9 5SW Tel: (01625) 544 444 Fax: (0845) 833 1845</p>			
<p>MORRIS HOMES</p>			
<p>PHASE 2 - ELTON LODGE</p>			
<p>WINSTER HOUSE TYPE FLOOR PLANS</p>			
REV	DESCRIPTION	DATE	BY
01/01/11	0.01	1:100	AD
<p>N183/PHT/WN02</p>			



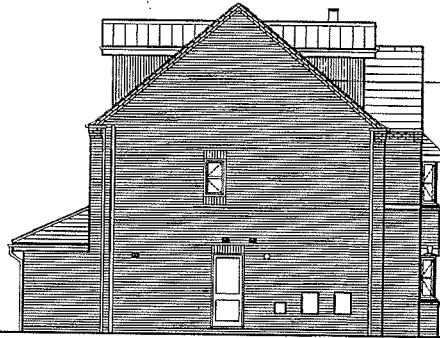
FRONT ELEVATION



SIDE ELEVATION

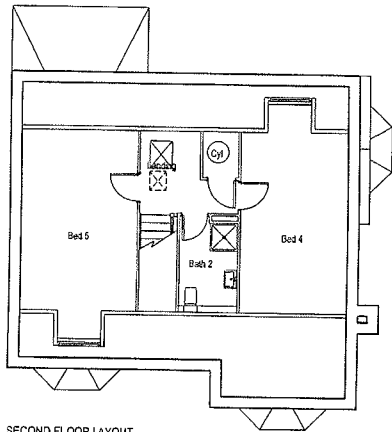


REAR ELEVATION

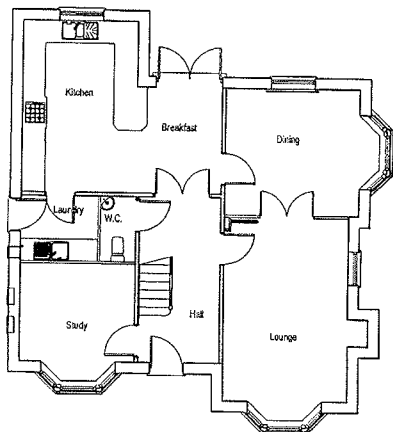


SIDE ELEVATION

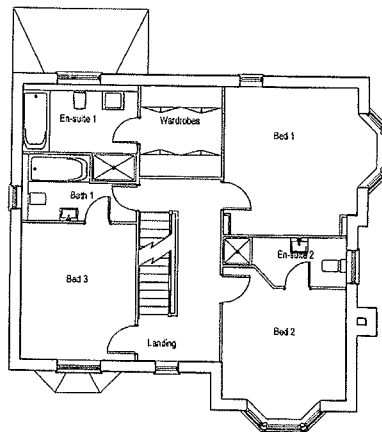
REV	DESCRIPTION	DATE	BY
 Morris Homes (Group) Limited Morland House Ardwick Road Walsley Chester S19 5WV Tel: (01629) 544 444 Fax: (0845) 833 1845			
Job No PHASE 2 - ELTON LODGE			
Plan No STRATFORD A HOUSE TYPE ELEVATIONS			
DATE	SCALE	PROJECT	PLAN
26/10/11	1:50	1:100 @ A3	N183/PH1STRAG1



SECOND FLOOR LAYOUT



GROUND FLOOR LAYOUT



FIRST FLOOR LAYOUT

REV	DESCRIPTION	DATE	BY
 Morris Homes (Group) Limited Morland House Ardwick Road Walsley Chester S19 5WV Tel: (01629) 544 444 Fax: (0845) 833 1845			
Job No PHASE 2 - ELTON LODGE			
Plan No STRATFORD A HOUSE TYPE FLOOR PLANS			
DATE	SCALE	PROJECT	PLAN
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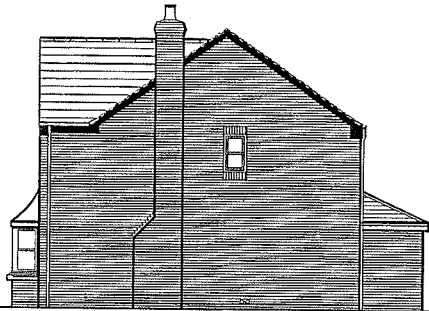
Roof tiles to L.A. approval

Buff artstone cills

Facing brick to L.A. approval

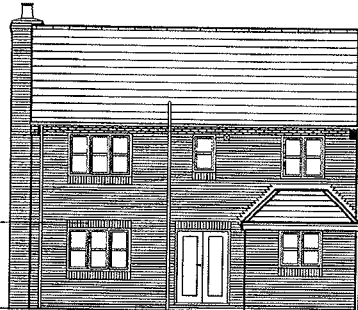


Front Elevation

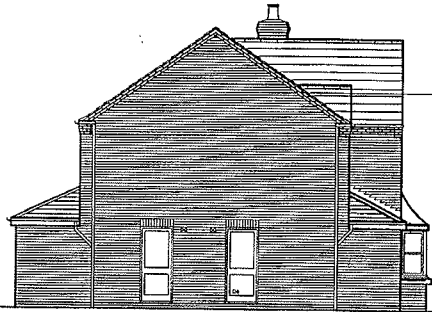


Side Elevation

Brick on edge soldier course detail



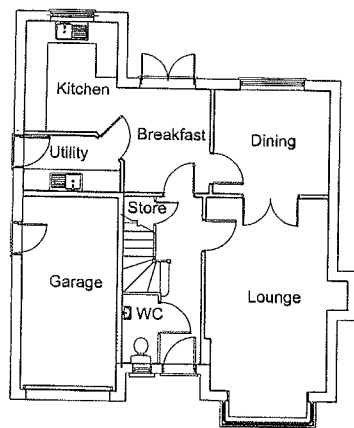
Rear Elevation



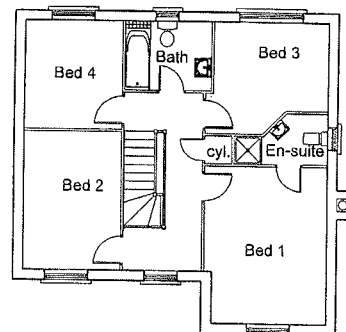
Side Elevation

Projecting brick verge detail with corbel

REV	DESCRIPTION	DATE	BY
<p>Morris Homes (Group) Limited Morrison House Aldrich Road Widmore Cheshire SK9 6NW Tel: (01625) 544 444 Fax: (01625) 633 1845</p>			
<p>MORRIS HOMES</p>			
<p>Job No: PHASE 2 - ELTON LODGE</p>			
<p>Proj No: BRAMHALL HOUSE TYPE ELEVATIONS</p>			
CD	SCALE	DATE	PROJECT
20/09/11	S.M.	11/09/11	NT183P/HT3R/01



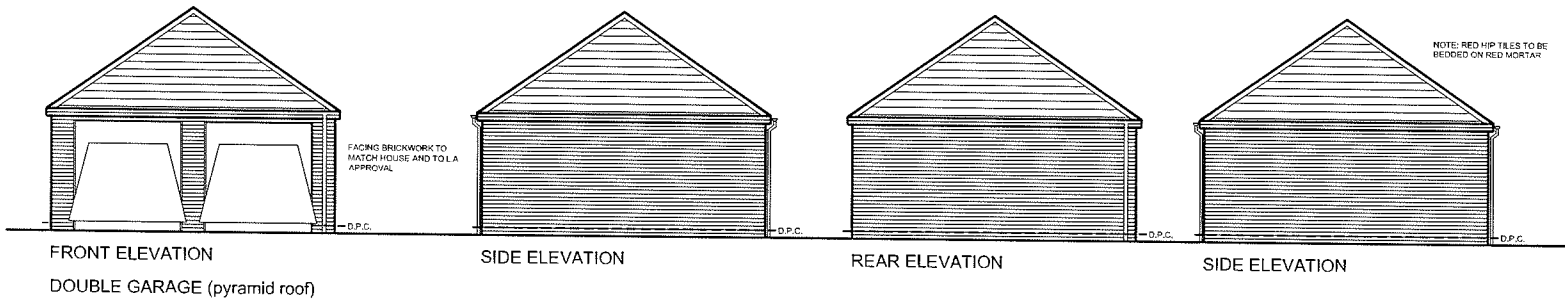
GROUND FLOOR LAYOUT



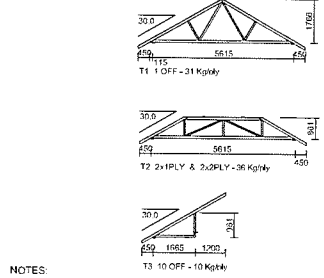
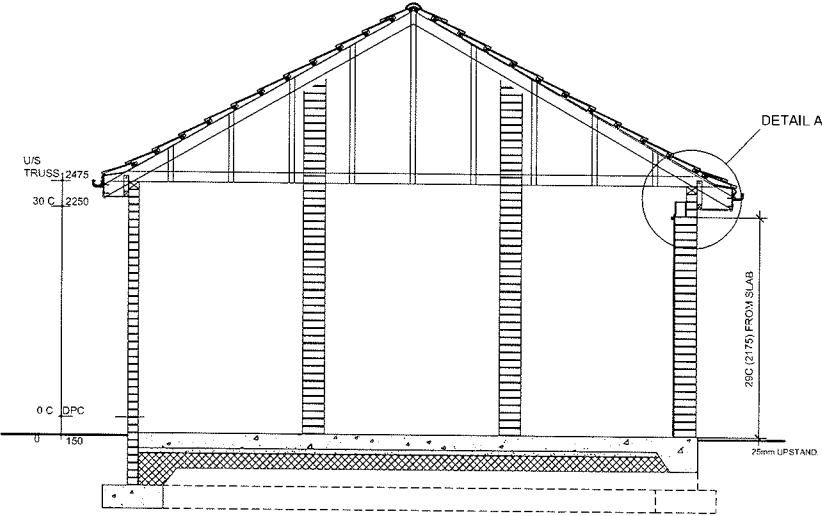
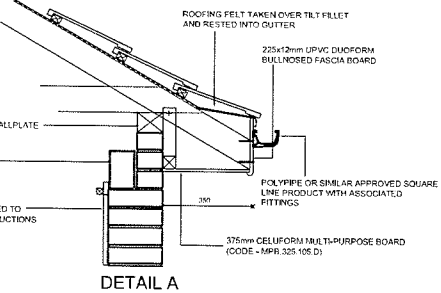
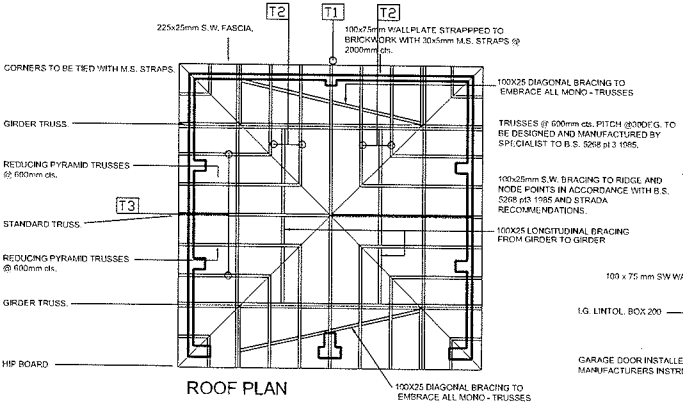
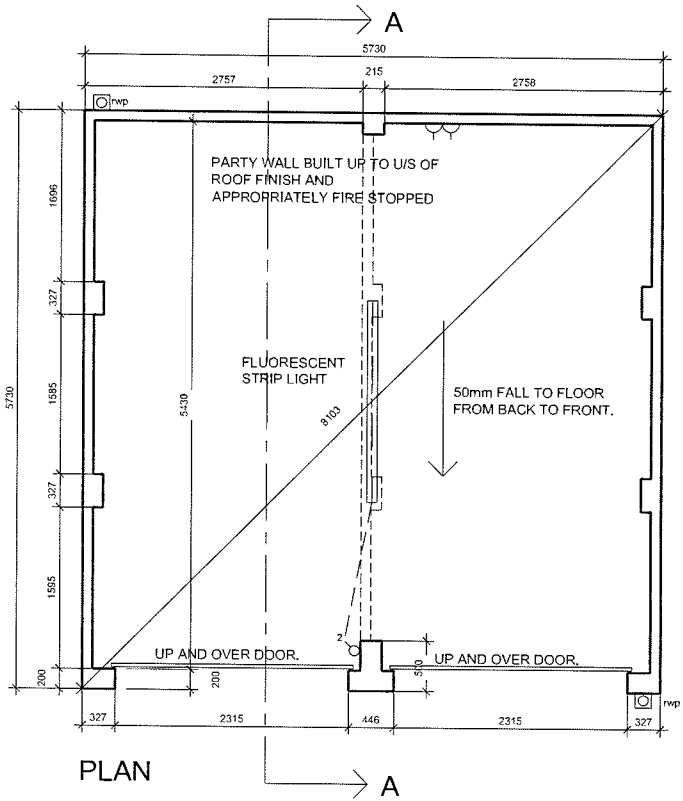
FIRST FLOOR LAYOUT

REV	DESCRIPTION	DATE	BY
<p>Morris Homes (Group) Limited Morrison House Aldrich Road Widmore Cheshire SK9 6NW Tel: (01625) 544 444 Fax: (01625) 633 1845</p>			
<p>MORRIS HOMES</p>			
<p>Job No: PHASE 2 - ELTON LODGE</p>			
<p>Proj No: BRAMHALL HOUSE TYPE FLOOR PLANS</p>			
CD	SCALE	DATE	PROJECT
20/09/11	S.M.	11/09/11	NT183P/HT3R/02

General Garage GR1



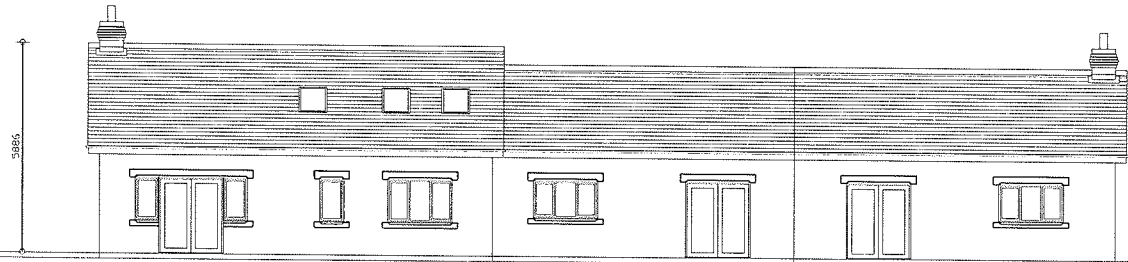
NOTE: RED HIP TILES TO BE BEDDED ON RED MORTAR



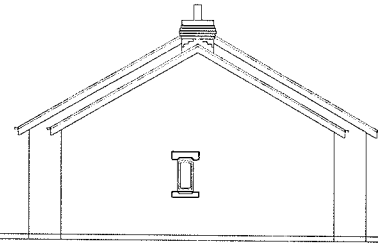
NOTES:
ROOF CONSTRUCTION:
 CONCRETE INTERLOCKING ROOF TILES ON 38x25 mm S.W. BATTENS ON LAYER OF UNTEARABLE ROOFING FELT ON 30/100 G. PITCH ROOF TRUSSES @ 600mm cts. TIED INTO BRICKWORK WITH GALVANISED MILD STEEL STRAPS. TRUSSES TO BE BRACED IN ACCORDANCE WITH B.S. 5268 pt 3 1985.
FLOOR CONSTRUCTION:
 TO BE 150mm CONCRETE SLAB (50mm FALL FROM BACK TO FRONT) ON 1000 GAUGE DPM ON SAND BLINDING ON 150mm WELL COMPACTED HARDCORE.

TITLE	GENERAL DETACHED GARAGE DETAILS		DATE	SEP.04	DRAWN	SAH	REVISIONS	Rev	Date	Amendment	Init
	PYRAMID GARAGE		SCALE	1:50/1:100	CHECKED	-	DRAWING NO.	GR1			

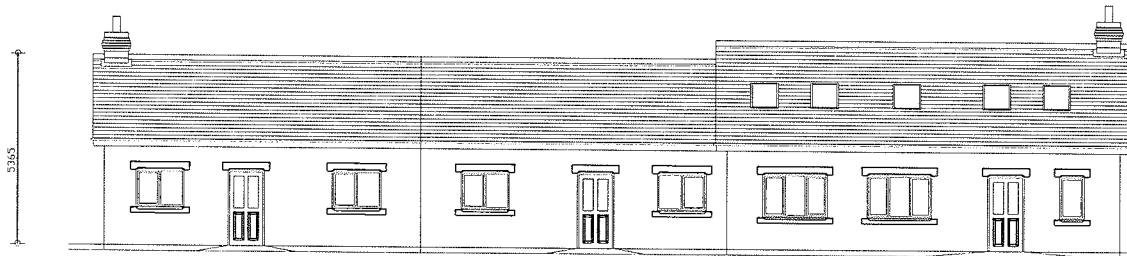




REAR (NORTH) ELEVATION



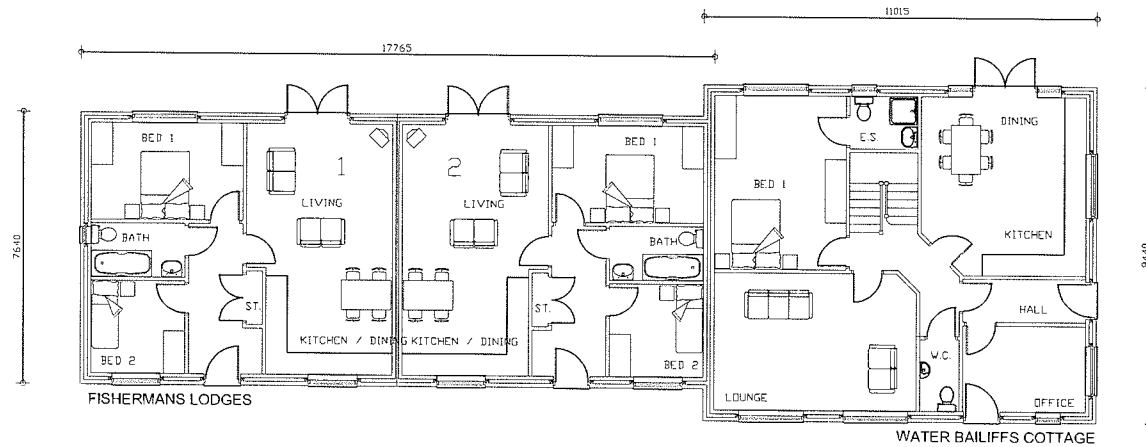
SIDE (WEST) ELEVATION



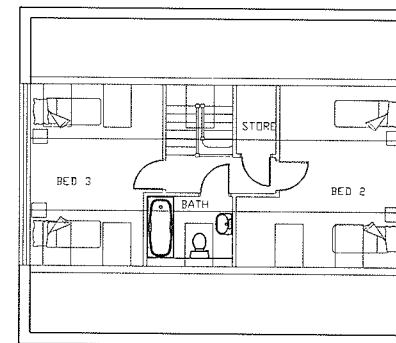
FRONT (SOUTH) ELEVATION



SIDE (EAST) ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

REV	DESCRIPTION	DATE	BY


 Morris Homes (Group) Limited
 Morland House
 Abbotsham Road
 Wilmslow
 Cheshire SK9 5NW
 Tel: 01625 544 444
 Fax: 01625 533 1945

Proj. Title
 PHASE 2 - ELTON LODGE

Proj. Title
 PROPOSED COTTAGES & WATER BAILIFFS LODGE

Date	Drawn	Checked	Scale	Project	Rev
4/23/12	SJM		1:100 JP A2	N183/PC0101	

Ward: Ramsbottom + Tottington - Tottington

Item 02

Applicant: Johnnie Johnson Housing Association

Location: Wesley House, Wesley Street, Tottington, Bury, BL8 3NW

Proposal: Demolition of existing building and erection of 12 no. bungalows

Application Ref: 54740/Full

Target Date: 31/05/2012

Recommendation: Approve with Conditions

Description

The site is vacant sheltered housing accommodation and comprises part single/part 2 storey blocks which are served by 2 small communal parking areas accessed off Wesley Street. There are open grass verges to the front of the blocks and some trees planted around the boundary of the site fronting Wesley Street and to the rear of the site.

The immediate area is predominantly residential in character, with a similar sheltered housing complex on the opposite side of the road from the site (Harwood House), Wesley Court to the west and private detached properties accessed off Spring Vale Drive to the south. There are large areas of open space to the south and west of the site which is allocated as Green Belt, West Pennine Moors and Special landscape Areas in the Bury Unitary Development Plan. Local shops and amenities can be found the east of the site in Tottington centre.

In terms of topography, the site itself sits on level ground, although Wesley Street rises in gradient from the east to the west and drops down quite steeply to the south and the houses on Spring Vale Drive.

The application seeks demolition of the existing building and the erection of 12x2 bedroomed bungalows, arranged in semi detached and detached configurations. Each dwelling would have its own parking space, a private rear garden, bin store area and 1.8m high boundary treatment to the sides and rear. The bungalows would be constructed in multi brickwork and render to feature gable walls and dark grey concrete tiles. There would be a private road into the site off Wesley Street by which to access plots 4,5,6 and 7.

The scheme would comprise 100% affordable housing with the aim towards occupation by elderly households.

Relevant Planning History

00854/E - Proposed redevelopment of Wesley House - Enquiry completed 05/05/2011. The scheme is part of a nationwide programme to deliver the maximum number of affordable homes between 2011 and 2015. The Housing association has secured a grant from the HCA programme to deliver the scheme for Bury.

Publicity

107 letters sent on 1/3/2012 to properties at Harwood House, Wesley Street; Chapel Court, Wesley Street; Wesley Court, Wesley Street; 11 Spring Street; 1-15 (odds) Harwood Walk; Woodbury Hostel, Wesley Street; 64-96 (evens) 2,3,5,7,9,9A,9B,11A,Wesley Street; 11,13,13A; 1-23 (odds) Spring Vale Drive.

Site notice posted 7/3/2012.

Press advert in The Bury Times on 8/3/2012.

Objection received from No 13 Wesley Street which raises the following issues -

- Concern the block of 3 bungalows nearest their property would block light to their house and will be too near their boundary.

Letter of support received from No 64 Wesley Street with the following comments:

- A positive idea and great design;
- The existing building appears to need a great deal of work doing on it and there have not been many residents for years;
- 12 bungalows will improve the Wesley Street area.

Those who have expressed an interest have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No comments received to date.

Environmental Health Contaminated Land - No objection subject to conditions.

Waste Management - No comments received to date.

Designforsecurity - No objection subject to the recommendations made in the Crime Impact Statement.

United Utilities - No objection subject to condition.

Baddac Access Officer - Welcome the development and request a condition that a schedule to show how the scheme meets the 16 points of the Lifetime Homes Standards is submitted.

Unitary Development Plan and Policies

OL7/2	West Pennine Moors
OL1	Green Belt
EN9/1	Special Landscape Areas
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
SPD5	DC Policy Guidance Note 5: Affordable Housing
NPPF	National Planning Policy Framework
EN6	Conservation of the Natural Environment
HT5/1	Access For Those with Special Needs
SPD3	DC Policy Guidance Note 3: Planning Out Crime
SPD6	Supplementary Planning Document 6: Alterations & Extensions
EN6/3	Features of Ecological Value
EN8/2	Woodland and Tree Planting

Issues and Analysis

Policies - Unitary Development Plan Policy H1/2 - Further Housing Development will have regard to the following factors:

- the need to direct development towards the urban area;
- the availability of infrastructure;
- the need to avoid the release of peripheral open land;
- the suitability of the site in land use terms with regards to amenity, the nature of the local environment and surrounding land uses;
- other policies and proposals of the Plan.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density

and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Principle - The proposed development would replace the existing housing blocks which have become obsolete, with new modern homes for affordable needs. The site is located within a residential area and there is existing infrastructure in place to support the scale of the development and as such the principle is considered acceptable. Details of the layout, design, proximity to residential properties and access and parking are discussed below.

Layout - The layout of the development comprises 5 rows of bungalows, two fronting Wesley Street (plots 1,2,3 and 8,9), one facing Spring Vale Drive (plots 10,11,12) and two internally facing each other within the site and separated by the access road into the site and turning area (plots 4,5 and 6,7). The land gradually rises from east to west and the bungalows would gradually step up to acknowledge the level changes of the land, yet level access would be maintained to all the properties. There would be a small front garden area to define the residential curtilage of each dwelling, an in-curtilage parking space located to the front or side of each bungalow and rear gardens accessed from down the side of the properties with bin storage areas in the rear gardens.

The layout of the scheme would maximise the use of the available land whilst taking into consideration the surrounding residential properties to provide suitably sized accommodation and amenity areas. As such, the proposed layout is considered acceptable and would comply with UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development.

Design and appearance - There is a mix of different house types and accommodation in the locality, and the provision of high quality bungalow accommodation would provide alternative modern and sustainable living. The proposed bungalows have been designed to reflect the general residential character of the area, and modest roof pitches and gable ended properties would blend sensitively into the streetscape. The palette of materials comprising multi brickwork, render and grey roof tiles would be in keeping with Harwood House and Wesley Court directly opposite and the area in general.

The bungalows would be fully accessible and designed to be adaptable to Lifetime Homes Standards. The rooms would be spacious and the size of the window openings would maximise daylight into the rooms and enable an outlook which would be usable by most people.

As such, the design and appearance are considered to be appropriate to the area and this type of development and comply with UDP Policies EN1/2 - Townscape and Built Design and H2/1 - The Form of Residential Development.

Impact upon residential amenity - The existing building comprises a mix of single and 2 storey elements and therefore the proposed bungalows would be at a consistently lower level than its replacement, with generally less impact on the surrounding properties in comparison. The properties situated closest to the development would be to the south of the site on Spring Vale Drive and No 13 Wesley Street to the east.

The rear gardens and elevations of the houses on Spring Vale back onto the Wesley House site. Spring Vale drops quite steeply along the boundary of the site and as such these houses are staggered at a lower level by approximately 1 storey. SPD 6 advises that a distance of 13m between a ground floor habitable room window and blank gable should be maintained, with an additional 3m to take into consideration levels differences. There would be a distance of 18m from the proposed development to the rear of these houses and therefore aspect standards are met. Although there would be 8.8m from Plot No 12 to No 1 Spring Vale at the closest point, this measurement is taken from the corners of both properties and there would be no direct overlooking from habitable room windows.

There would be a separation distance of 6.8m between Plot No 1 and No 13 Wesley Street. There are no habitable room windows on the side gable of this house and the aspect standards would be met. In addition, this property is screened from the site by conifer planting along the boundary.

The proposals are considered not to have an adverse impact on the amenity of nearby residents and would comply with UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development

Parking and access - A new vehicular access would be created into the site from Wesley Street which would serve 4 of the new dwellings. The remaining 8 dwellings would be accessed by private driveways off Wesley Street and Spring Vale Street.

SPD 11 - Parking Standards in Bury states the maximum provision required would be 1.5 spaces for 2 bed properties in a high access area. The development proposes 1 in-curtilage space for each of the 2 bed bungalows. However, these are maximum standards and given the type of accommodation proposed where car ownership is likely to be lower, and that there is a regular bus service through Tottington, the parking provision for each property is considered to be satisfactory.

As such, the proposals are considered to comply with UDP Policy H2/2 - The Layout of New Residential Development and HT2/4 - Car Parking and New Development.

Trees - The trees on the site are not protected and nine individual trees and one tree group would require removal to facilitate the development proposals. Two trees are categorised as high value, four trees as moderate value, two are in a state of decline and one tree and the group are of low arboricultural value. Three important trees on the frontage to Wesley Street are to be retained and the majority of the trees to be lost are not of high visual amenity value within the street scene and as such their loss is acceptable. However it is considered that mitigation for their loss is therefore recommended in the form of replacement planting and as such a condition would require that a landscaping scheme, to include semi mature species and an aftercare programme be submitted for approval. Tree protection measures would be incorporated prior to and continue until the development has been completed.

As such, the proposal is considered to comply with EN6 - Conservation of the Natural Environment.

Lifetime Homes - The application states that Lifetime Homes Standards would be met and this would be a welcome and important element of the scheme. A condition to submit a schedule of the 16 criteria would be included in any approval. In addition, the development would deliver energy efficiency housing to Code 3 level. As such, it is considered the design has considered the needs of the future occupiers of the houses and satisfies UDP Policy HT5/1 - Access for those with Special Needs.

Contributions - The site has come forward as a result of a successful bid for funding from the Homes and Communities Agency (HCA) . The funding package makes no provision for any additional s106 contributions, which is applicable not just to this scheme but all scheme including those outside of Bury.

The scheme as proposed would normally include either on site recreation provision or commuted sum contribution to the value of £37,762.38 and it is proposed these requirements be waived. The financial constraints of the scheme are such that any financial contribution would jeopardise the development and the support offered by Housing Associations in terms of meeting the Borough's Affordable Housing targets. Other Local Planning Authorities in the North West have chosen not to charge recreational payments for Affordable Housing Programme (AHP) developments. Given that AHP funded developments which are typically 100% affordable are far in excess of normal affordable housing requirements under planning policy. It is considered that this is a reasonable

argument in this case to adopt.

The development proposals as shown on this site aim to contribute towards the shortfall of Affordable Housing that exists in Bury by providing 100% affordable homes. It is considered that the benefits accruing from the development in terms of affordable housing outweigh the normal requirements for recreational open space, thereby justifying support for the scheme as submitted.

Response to objectors - The separation distance between the proposed development and No 13 Wesley Street would meet the aspect standards of the adopted SPD. Given the new dwelling would be a bungalow with no habitable room windows on the side elevation facing No 13, and that there is conifer planting along the boundary of No 13, it is considered the relationship between the 2 properties would be acceptable and would not be detrimental to the residential amenity of No 13.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

The proposed development is acceptable in principle and would not have an adverse impact on the amenity of the neighbouring properties or the future occupiers of the proposed dwellings. The design and layout of the scheme is considered to be acceptable and there would be no adverse impact on highway safety issues.

There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings - Site Location Plan 11-1670-L01; Topographical Land Survey S11/411; Proposed Site Layout 11-1670-P01; Bungalow Layout 11-1670-P02; Proposed Elevations 11-1670-P04; Existing and Proposed Site Section -A 11-1670-P05; Design and Access Statement 11-1670-DA01; Crime Impact Statement Version A:07/02/12; Bat Survey (Report ref:3236.002) dated January 2012; Aboricultural Implications Assessment (Report Ref: TEP.3230.001) dated January 2012 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework.

4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework.
5. The site must be drained on a separate system, with only foul drainage connected into the foul sewer. Surface water should discharge to the surface water sewer that is located within the site boundary at a rate not exceeding 20l/s.
Reason. To reduce the increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal pursuant to National Planning Policy Framework.
6. No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage works has been approved by the Local Planning Authority. The scheme shall be completed in accordance with the approved plans.
Reason. To reduce the increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal pursuant to National Planning Policy Framework.
7. No development shall commence unless or until a schedule to demonstrate the scheme provision for lifetime homes has been submitted to and approved in writing by the Local Planning Authority. The development shall then be carried out incorporating the measures in accordance with the approved scheme.
Reason. To ensure that the development is fully accessible to disabled persons pursuant to Policies HT5/1 – Access for Those with Special Needs of the Bury Unitary Development Plan.
8. The development hereby approved shall not be first occupied unless and until the access alterations indicated on approved plan reference 11-1670-P01, incorporating the reinstatement of the redundant accesses onto Wesley Street, formation of new site access and all necessary footway remedial works on Wesley Street and Spring Vale Drive, have been implemented to the written satisfaction of the Local Planning Authority.
Reason. To ensure good highway design in the interests of road safety pursuant to Bury Unitary Development Plan Policies HT6/2 - Pedestrian and Vehicular Conflict and H2/2 - The Layout of New Residential Development.
9. Details of a street lighting scheme for the sections of Wesley Street and Spring Vale Drive that abut the site and for the proposed access road shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme only shall be implemented and be available for use before first occupation of the approved dwellings.
Reason. To reduce the potential for crime and disorder and to provide sufficient street lighting for the future occupants of the site pursuant to the National Planning Policy Framework and Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development, EN1/5 - Crime prevention and Development Control Policy Guidance Note 3 - Planning Out Crime in New Development.
10. Notwithstanding the details indicated on approved plan reference 11-1670-P01, all in-curtilage parking spaces shall be a minimum of 5m in length.
Reason. To allow adequate space to maintain a vehicle clear of the highway, in the interests of pedestrian safety pursuant to Bury Unitary Development Plan Policies HT6/2 - Pedestrian and Vehicular Conflict, H2/2 - The Layout of New

Residential Development and HT2/4 - Car parking and New Development.

11. The turning facilities indicated on approved plan reference 11-1670-P01 shall be provided before the development is first occupied and shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies HT6/2 - Pedestrian and Vehicular Conflict and H2/2 - The Layout of New Residential Development.
12. No vegetation clearance shall be carried out on site between 1st March and 31st August inclusive in any year unless otherwise approved in writing by the local authority.
Reason. For the Protection of Nesting Birds, pursuant to the Wildlife & Countryside Act, 1981 and Unitary Development plan Policy EN6 - Conservation of the Natural Environment.
13. Notwithstanding the boundary treatments shown on the layout plan reference 11-1670-P01, further details of the boundary treatments to the front of the properties and the gable of Plots 3 and 8 shall be submitted for approval prior to commencement of development. The approved plans only shall be incorporated into the development.
Reason. To ensure a safe and secure development for the occupiers pursuant to Unitary Development plan Policy EN1/5 - Crime Prevention and SPD 3 - Planning Out Crime in New Development.
14. Details/Samples of the all materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
15. The development hereby approved shall be carried out in accordance with the recommendations of the bat survey report ref 3236.002 dated January 2012.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework.
16. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction unless otherwise agreed in writing by the Local Planning Authority.
Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to UDP Policy EN1/2 - Townscape and Built Design.
17. The development hereby approved shall not commence unless and until the tree protection requirements and measures detailed in the Arboricultural Implications Assessment (Report Ref :TEP.3230.001) dated January 2012 have been implemented and all measures required by the scheme shall continue until the development has been completed.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

18. A landscaping scheme, to include the provision of semi mature trees and an aftercare programme, shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

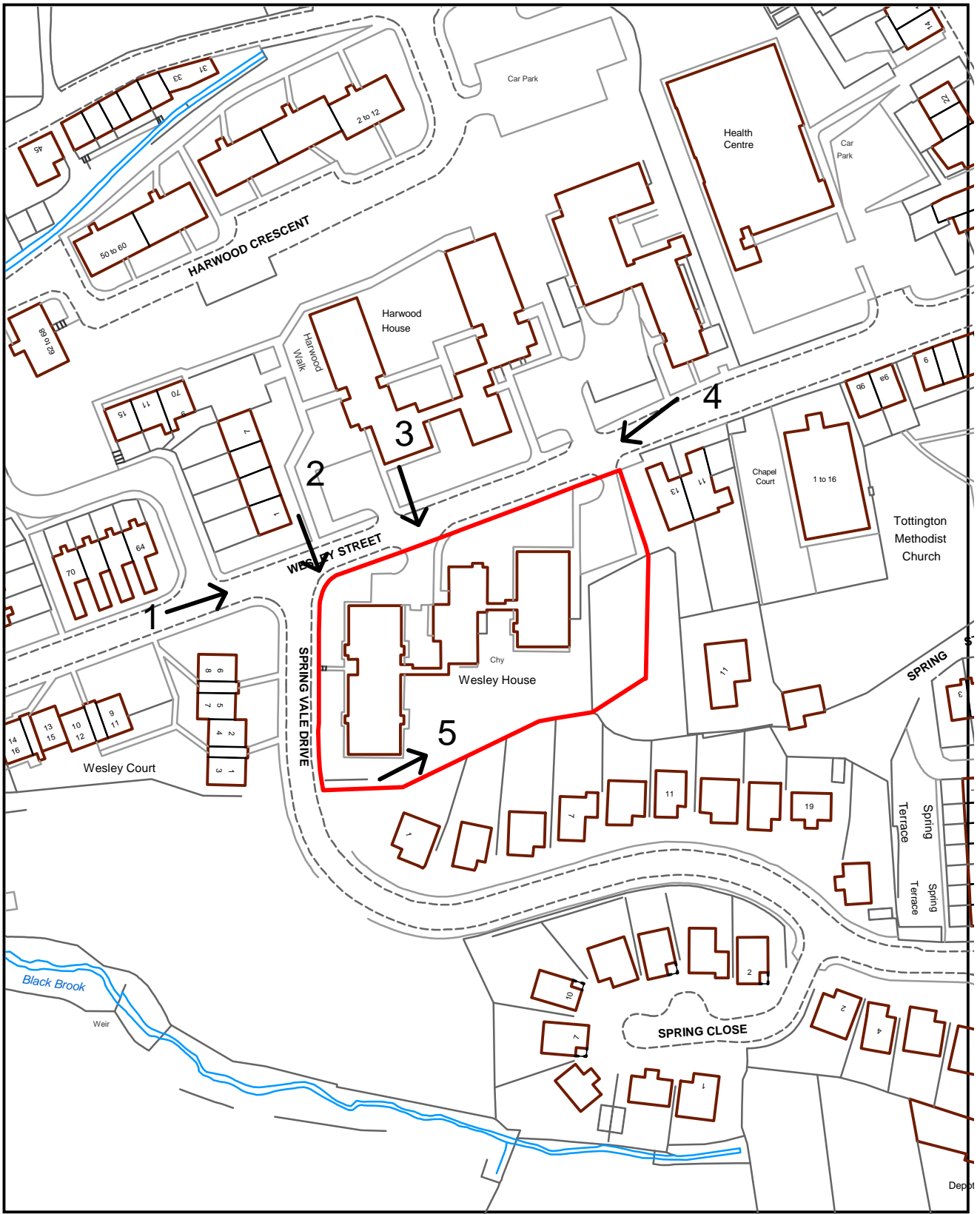
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

19. The development hereby approved shall be occupied as Affordable Housing.

Reason. To ensure that the development would contribute to satisfying the need for affordable housing provision pursuant to Bury Unitary Development Plan Policy H4/1 - Affordable Housing and the associated Supplementary Planning Document 5 - Affordable Housing Provision In New Residential Developments.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54740

**ADDRESS: Wesley House, Wesley Street
Tottington**

Planning, Environmental and Regulatory Services 1:1250

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54740

Photo 1



Photo 2



Photo 3



Photo 4

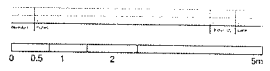


Photo 5



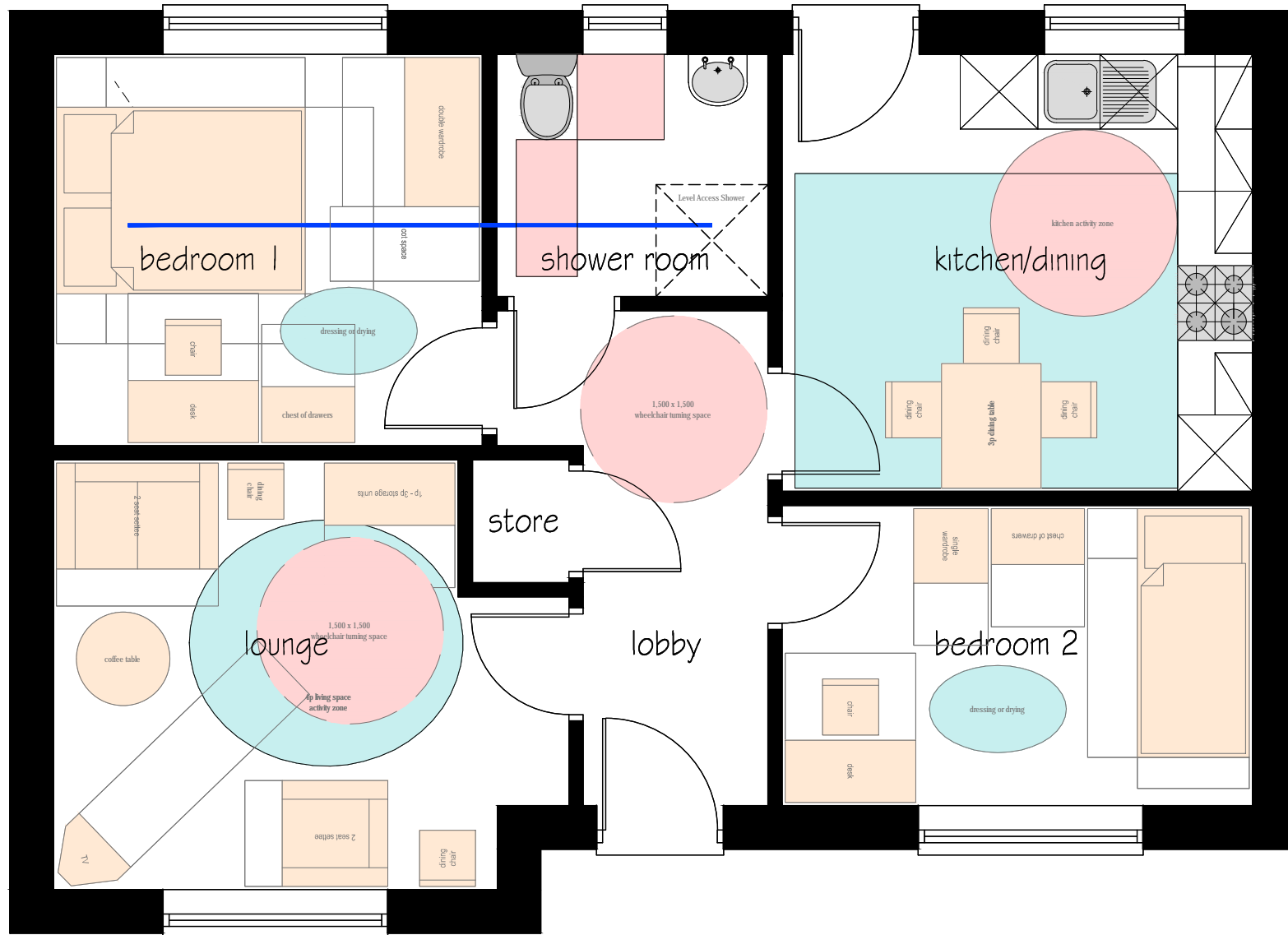


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 Do not scale.



Project: Wesley Street, Totton
 Client: 'Johnnie' Johnson Housing Trust
 Drawing: Proposed Site Layout
 Status: Preliminary
 Reference: 11-1670-P01
 Scale: 1:200
 Date: Dec 11





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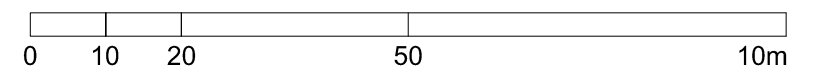
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revision	notes	drawn by	date



project
Wesley Street Development
 Wesley Street
 Tottington

client
 'Johnnie' Johnson Housing Trust

drawing title
Typical Bungalow Layout

status
Planning

drawing no.	revision	scale	drawn by	date
11-1670-P02	-	1:50	GS	

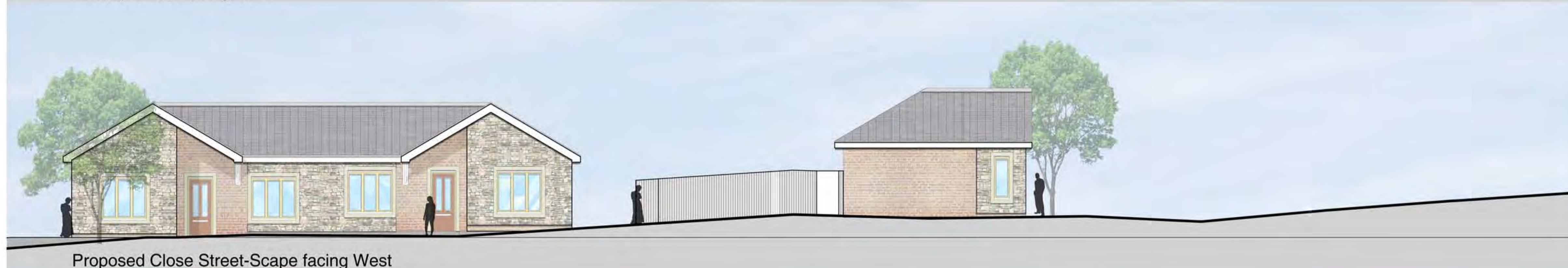


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Wesley Street facing South



Proposed Close Street-Scape facing West



Spring Vale Drive facing East

revision	notes	drawn by	date
0			
0.5			
1			
2			
			5m

project
Wesley Street
Totlington

client
'Johnnie' Johnson Housing Trust

drawing title
Proposed Elevations

status
Preliminary

drawing no. 11-1670-P04
revision 1
scale 1:100
drawn by GS
date Dec.11



Ward: Prestwich - Sedgley

Item 03

Applicant: Mr Shahid Choudhry

Location: 46-48 Bury Old Road, Prestwich, Manchester, M25 0ER

Proposal: Demolition of 2 no. detached dwellings; Construction of new apartment building comprising of 14 no. apartments with associated underground parking and amenity space (resubmission)

Application Ref: 54764/Full

Target Date: 19/04/2012

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and DCPGN1. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The site consists of two detached dwellings, which are located on the corner of Castle Hill Road and Bury Old Road, Prestwich. The dwellings are in an elevated position and are constructed from red brick with a tiled roof. There are a number of mature trees along the frontage to Bury Old Road and there is a 1 metre high stone wall, with a 2 metre timber fence on top. The site slopes upwards from Bury Old Road and there are currently two accesses, one onto Bury Old Road and one onto Castle Hill Road.

Castle Hill Road forms a crossroad with Kings Road and Bury Old Road. There is a local shopping centre opposite the site, with a layby for parking, which is accessed close to the Kings Road junction. There are residential dwellings to all other boundaries.

Planning permission for the demolition of the 2 dwellings and the provision of a single building with 14 apartments was refused at Planning Control Committee in December 2010. The applicant appealed against this decision and the Inspector dismissed this appeal as there was insufficient provision for recreation and for no other reason. In accordance with SPD1, a developer is expected to make a financial contribution, which is worked out using a formula in SPD1, towards the improvement of recreational facilities in the nearby area. The applicant offered a contribution of £500 towards recreation provision. The Inspector found that this would not be fairly related in scale to the development and as such would fail to provide for the recreational needs of prospective residents. Therefore, the proposed development did not comply with Policy RT2/2 and DCPGN1 and the Inspector dismissed the appeal.

A second application for the provision of a single building with 8 apartments was granted planning permission at Planning Control Committee in September 2011.

The proposed development involves the demolition of the two detached properties and the erection of a single building for 14 apartments. The parking would be provided at basement level (ground level to Bury Old Road) with three floors of apartments above.

The parking area would be accessed from Castle Hill Road via a ramped access and pedestrian access would be provided from Bury Old Road.

Relevant Planning History

53205 - Demolition of 2 no. detached dwellings. Construction of new apartment building

comprising of 14 no. apartments with associated underground parking, and amenity space at 46 - 48 Bury Old Road, Prestwich. Refused on highway grounds - 17 December 2010. Appeal dismissed due to lack of recreation provision - 2011.

54066 - Demolition of 2 no. detached dwellings. Construction of building comprising of 8 no. apartments with associated underground parking and landscaping at 46 - 48 Bury Old Road, Prestwich. Approved with conditions - 21 September 2011.

Publicity

41 neighbouring properties (1 - 15 (odds), 2A, 2B, 2C Castle Hill Road; 6, 16 Danesway; 2 Grosvenor House Mews; 34, 36, 39, 41 - 45 (odds) 47, 47A, 47B, 47C, 49, 49A, 49B, 50 - 53, 55, 55A, 59 - 63 (odds) 63A Bury Old Road; 38 Poppythorn Lane; 6, 9 Woodthorpe Court; 67 Park Road) were notified by means of a letter on 24 January and a press notice was published in the Bury Times on 2 February. Site notices were posted on 26 January 2012.

A petition containing 46 signatures in support of the scheme has been received.

18 letters of support have been received from the occupiers of 65 Park Road; 46 Bury Old Road; 4, 22 Windsor Road, Prestwich; 6 Ringley Hey, Whitefield; 14A Blackfields, Salford, which have raised the following issues:

- Like the design of the proposed apartments.
- Happy about the suggested highway improvements.
- There is a shortage of good quality apartments within the area
- The proposed development would provide housing for young people.
- The existing driveways are very dangerous to use
- The development would enhance the area

16 letters of objection have been received from the occupiers of 2B, 2C, 5, 7, 9, 11, 15, 17, 18 Castle Hill Road; 67 Park Road; 41, 43, 45 Bury Old Road; 5, 6, 16, 20 Danesway, which have raised the following issues:

- Congestion at the junction of Castle Hill Road and Bury Old Road
- The entrance to the car park is very close to the junction of Castle Hill Road and Bury Old Road and would cause further delays.
- Many of the visitors to the nearby Mosque park in Castle Hill Road during prayers.
- No objections to the scheme for 8 apartments, but feel 14 is too many.
- Concern about the noise and disturbance during construction.
- The developer is trying to progress the revision by offering to include some additional recreational facilities at the development. Is this appropriate especially in light of the recent publicity regarding certain council planning decisions?
- The site is in an elevated position, which would accentuate the height of the proposed building and overlook the nearby residential dwellings.
- A number of very mature trees would have to be removed if the development is approved.
- Impact of the proposed development upon the owls and bats in the locality.
- There are a number of vacant apartment developments in the Prestwich area.
- It is not fair that the applicant can appeal a decision on a planning application, but those who have objected do not have a right to get a planning decision cancelled.
- The proposal is not in accordance with the residential housing on Castle Hill Road and Bury Old Road.
- The proposed amenity area is very small for 14 apartments.

2 e-mails have been received from Councillor Quinn and Councillor James, which have raised the following issues:

- The proposed building is totally out of character with the other buildings in the area, which are predominantly semi-detached and detached houses.
- The application was initially objected to and the appeal was subsequently dismissed last year. A development with fewer numbers has already been approved.

- The proposal would have a detrimental impact upon the locality and the neighbouring residents and the application should not be allowed.

The objectors, supporters and Councillors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments will be reported in the supplementary report.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Wildlife Officer - No objections, subject to the inclusion of conditions relating to the bat survey.

Waste Management - 2 eurobins would be required for recycling (not 6 wheeled bins).

Design for security - No objections.

Baddac - No objections, subject to the inclusion of a condition relating to lifetime homes.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/6	Garden and Backland Development
H4/1	Affordable Housing
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN1/6	Public Art
EN1/7	Throughroutes and Gateways
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
SPD1	DC Policy Guidance Note 1: Recreation Provision
SPD4	DC Policy Guidance Note 4: Percent for Art
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

Principle - National and regional planning guidance provides Bury Council with the amount and type of land that should be released for housing. In particular the National Planning Policy Framework (NPPF) identifies a plan, monitor and manage approach to the release of land for housing and giving Brownfield land priority before Greenfield sites and the quantity of new housing to be delivered in the plan period.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for housing development, including the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

Policy H2/6 states that the Council will not permit the loss of private gardens for infill

development unless such proposals can be shown not to adversely affect the character and amenity of the area.

The proposed development is located within the urban area and within a residential area. As such, the proposed development would not conflict with the surrounding land uses. As the proposal would involve the demolition of the dwellings, the site would be previously developed land and as such, the redevelopment of the site would be acceptable in principle. Therefore, the proposed development would be in accordance with the NPPF and Policies H1/2 and H2/6 of the adopted Unitary Development Plan.

Design and impact upon the surrounding area

Scale and Massing - The proposed building would be seen as a being three storeys in height, when viewed from Bury Old Road. The site slopes upwards towards No. 2A Castle Hill Road and access is provided from this road into the basement car park.

The proposed building would be a maximum of 2 metres higher than the adjacent dwelling (No. 50 Bury Old Road) and would be 1.4 metres higher than the existing dwellings on site. However, because the third floor is set back from the boundary with 50 Bury Old Road by 6.2m, the height of the new property adjacent to 50, is lower than the ridge of that property and on the same level as the eaves to that property. Similarly, the 3rd floor is also set back from the boundary with Castle Hill Road and this fact considerably reduces the bulk and massing of the proposed building and allows it to be assimilated into the street scene, especially as the proposal involves the retention of some of the mature trees on the Bury Old Road frontage. As such it is considered that the scale and massing of the building is acceptable and accords with Unitary Development plan Policy H2/1 in this regard.

Appearance - The proposed building would be of a modern design and would be principally constructed using brick with a feature panel of an aluminium louver screen on the Bury Old Road frontage. The roof would be a 'green roof', which would be covered with vegetation. The proposed materials and the use of recessed areas adds interest to the elevations. The smaller third floor further reduces the impact of the proposed building on the street scene. Whilst many of the buildings in the area are of a similar age, there is no particularly strong vernacular to the architecture of the buildings in the area. Given that stark modernist approach of the design of this building it is considered that careful thought will need to be given to the choice of the brick finish and whilst the applicant originally proposed a 'buff brick' it was not considered that this would be acceptable and as such, following positive negotiations which the agent, a condition is recommended requiring a 'red brick' to be used. With this condition it is considered that the appearance of the building would accord with Unitary development Plan Policy H2/1.

Boundary treatment - A 1.5 metre high timber boarded fencing would be located between the existing dwellings and the proposed site. The existing stone wall would be retained along Bury Old Road and a 1.5 metre high brick wall would be constructed along the boundary with Castle Hill Road. The proposed boundary treatments would match the existing boundary treatments in the locality and would be acceptable and would accord with Policy H2/1 of the adopted Unitary Development Plan.

Amenity space - 750 square metres of amenity space would be provided at the rear of the site, which would be acceptable in terms of size for this number of dwellings. Level access will be provided to this area from the properties via a secure entrance and it will be solely for the use of residents.

Bin storage - The bin store would be located on the Castle Hill Road elevation and would be a brick built structure. The Waste Management Section has no objections to the proposal.

Trees - There are a number of mature trees on the frontage of the site. Whilst some of these are of poor quality, a number are intended to be retained and these will 'soften' the impact of the new building on the site.

The existing trees were assessed to see if they would warrant formal protection via a Tree

Preservation Order. It is considered that there would be sufficient control by condition to protect the trees and given the age of the mature trees, a Tree Preservation Order would not be necessary. Therefore, the proposed development would not be unduly prominent within the street scene and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the adopted Unitary Development Plan in this respect.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and is relevant in this case. There would be 21 metres from the front elevation of 1 Castle Hill Road to the gable of the proposed building. At this point, the building would be two storeys in height and would exceed the aspect distance of 20 metres.

The proposed building would project some 5 metres past the rear elevation of No. 50 Bury Old Road and is set further from the boundary with this property than the existing house. The proposed building would not obstruct the 45 degree line when drawn from the corner of 50 Bury Old Road. When drawn from the corner of No. 2A Castle Hill Road, the 45 degree line would cross the proposed building at a distance of 19.5 metres, which would be in excess of the aspect distance of 16 metres required in SPD6. As such, the proposed building would not have a significant adverse impact upon the amenity of the neighbouring properties and would be in accordance with Policies H2/1 and H2/2 of the adopted Unitary Development Plan.

Highways issues - There are currently 2 accesses onto Bury Old Road and one onto Castle Hill Road, which serve the 2 dwelling. The proposed development would be solely accessed from Castle Hill road and the two other accesses would be closed.

The proposed development would result in an increase in the number of vehicles accessing Castle Hill Road. However, Castle Hill Road connects to Park Road and therefore, some of these vehicles may not use the Castle Hill Road/Bury Old Road junction. In addition, the application presents a number of benefits. The two existing accesses onto Bury Old Road would be closed and the existing boundary treatment on the Bury Old Road frontage would be lowered to 1.5 metres. Also, the position of the boundary wall along the frontage would be pulled back behind the line of the visibility splay, which would also have the benefit of widening the pavement.

Planning permission for 14 units was refused in December 2010 and the applicant appealed against that decision. The Inspector dismissed the appeal due to a lack of recreation provision. The Inspector considered the impact of the proposal upon highway safety and concluded that the development would not intensify the use of the junction so as to cause an unacceptable loss of highway safety.

Therefore, on balance, the proposed development coupled with the improvements would not be detrimental to highway safety and would be in accordance with Policies H2/1 and H2/2 of the adopted Unitary Development Plan.

Ecology - A bat survey has been submitted as part of the application and states that the proposed development would not result in the loss of a high value bat roost potential. The Wildlife Officer has no objections, subject to the inclusion of a condition relating to bats and nesting birds. Therefore, the proposed development would not have an adverse impact upon a protected species and would be in accordance with Policy EN6/3 of the adopted Unitary Development Plan.

Landscaping/trees - A tree survey was submitted with the application. The site is overcrowded in terms of tree canopies with inappropriate conifer planting and there are a number of self seeded and undermanaged trees. As such, it is accepted that some removals are required to ensure the long term survival of the trees. The trees to be removed are of poor quality and there is no objection to this. Additional trees would be planted in the frontage and this would be secured via a condition. Therefore, the proposed development would be in accordance with Policy EN8 of the adopted Unitary Development Plan.

Parking - SPD11 states that the maximum parking standards should be 1.5 spaces per 2 bed units and 1 spaces per 1 bed unit, which equates to 19 spaces in a high access area. The capacity for visitors is an additional consideration and where provided, visitor spaces should be shared.

The proposed development would provide 19 spaces, including 1 disabled bay and space for cycle storage.

One concern is how visitors would be accommodated. However, the agent states that the total numbers of spaces match the maximum requirement by the Council. The agent confirms that they do not envisage that all 19 spaces would be allocated to all apartments and would accept a condition that retains a certain number of unallocated spaces for visitors. They also state that realistically, there would also be the possibility of small numbers of on road parking for visitors. However this would be no different to the current arrangement for the houses on this or most other residential streets.

The parking area within the building would be accessed by a visual and audio remote control system with a keypad, which would connect to each apartment. Visitors would be able to stop off the highway and call the apartment to gain access. As such, the proposed development would comply with the maximum parking standards and would allow access for visitors. Therefore, the proposed development would be in accordance with Policy HT2/4 of the adopted Unitary Development Plan and SPD11.

Access issues - The proposed development would provide level access to the building from Bury Old Road via a new gate and a lift would connect to all floors, including the parking area. A disabled parking bay has been located in close proximity to the lobby. The Design and Access statement indicates that all the apartments would be built to lifetime homes standard and this would be secured via a condition. Therefore, the proposed development would be accessible for all and would be in accordance with Policy HT5/1 of the adopted Unitary Development Plan.

Planning obligations - A contribution of £6,718.32 is sought for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and DCPGN1. The application was received before 1 February and is subject to DCPGN1, which was updated in June 2011. A draft of the agreement has been agreed.

The appeal was dismissed as the applicant offered a contribution of £500 towards recreation provision. The Inspector found that this would not be fairly related in scale to the development and as such would fail to provide for the recreational needs of prospective residents. Therefore, the proposed development did not comply with Policy RT2/2 and DCPGN1 and the Inspector dismissed the appeal.

Response to objectors

There are no third party rights of appeal for objectors within the planning system. Issues relating to noise and disturbance during construction are not material planning considerations and cannot be taken into consideration. This issue would be dealt with by Environmental Protection Act.

Policy RT2/2 states that developers of housing sites will be expected to provide for the recreational needs of the prospective residents and for smaller developments (10 - 49 dwellings) the developer may provide a commuted sum to the Council for the equivalent enhancement of public open space in the nearby area. The payment is calculated using the formula within DCPGN1 and the financial contribution is secured through a Section 106 agreement, which controls when the money would be paid and how it would be spent. From 1 February 2012, this would be applicable to all applications for residential development.

The remaining issues have been dealt with above.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

The proposed development is acceptable in principle and would not have a significant adverse impact upon the amenity of the neighbouring residents. The proposed development would not be unduly prominent within the streetscene and would not be detrimental to highway safety.

There are no other material considerations that outweigh this finding.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered E(100), E(200), E(201), E(202), E(203), E(300), E(900), 9W6401/SK002 b, P(100) rev G, P(101) rev C, P(102) rev C, P(103) rev D, P(104) rev A, P(200) rev D, P(201), P(202) rev D, P(203) rev D, P(300), P(400), P(900), 1742-01, 9W6401/SK005 rev A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Samples of the materials to be used in the external elevations shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. The approved materials shall be used in the approved scheme.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to Section 11 of the National Planning Policy Framework.
5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to Section 11 of the National Planning Policy Framework.
6. Following the provisions of Condition 4 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning

Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to Section 11 of the National Planning Policy Framework.

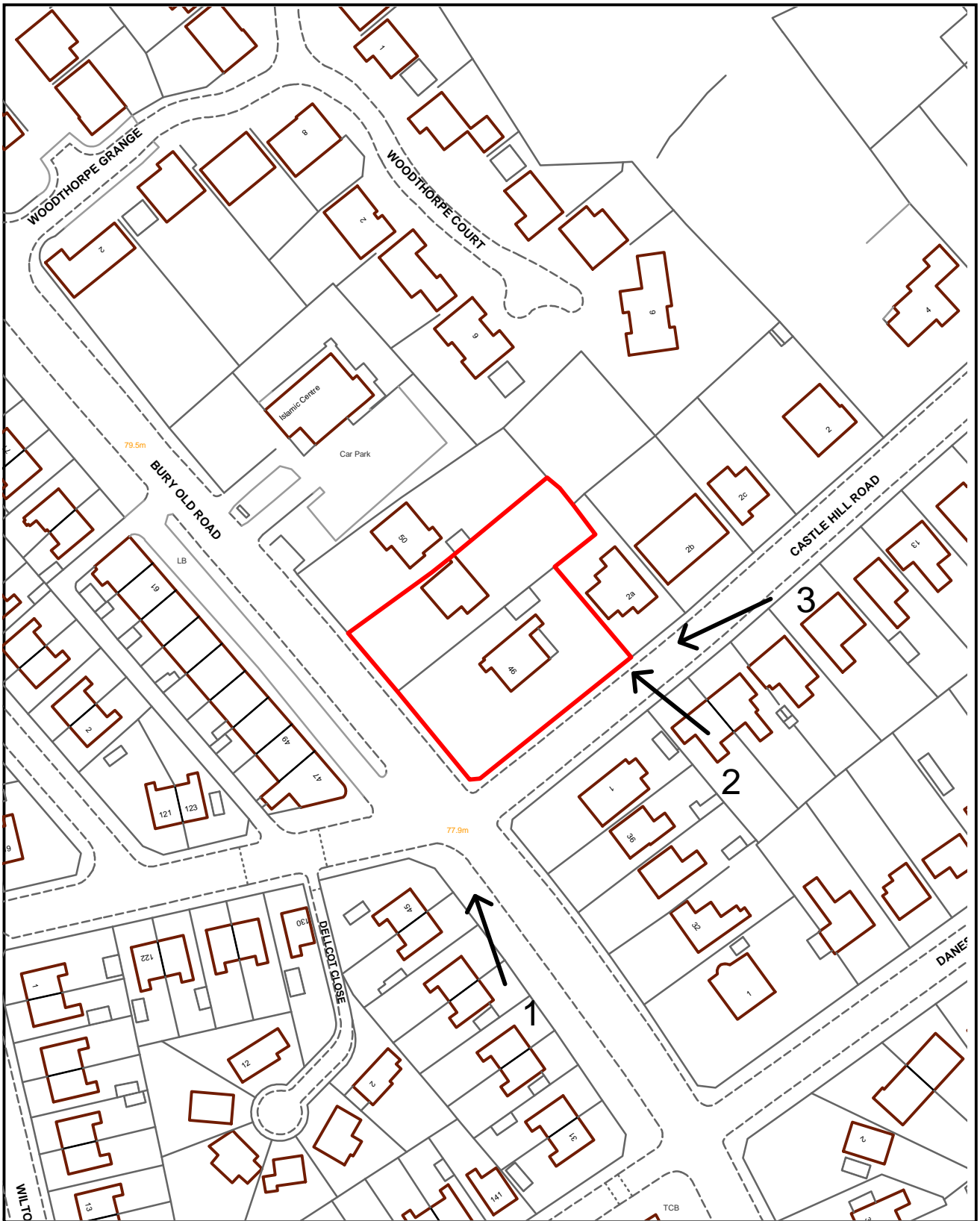
7. A minimum of 5 working days written notice shall be provided to the LPA of intended commencement of the development. The notification of commencement shall include a timetabled schedule of the intended tree protection measures and tree works. Any subsequent variation of the timetable shall be subject to further written notice.
Reason - To ensure that the development is carried out in accordance with the approved plans, to protect trees which are of amenity value on the site and pursuant to Policies EN8/1 – Tree Preservation Orders and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
8. The development hereby approved shall not commence unless and until a scheme of protection for all trees to be retained on site in accordance with BS 5837:2005 "Trees in Relation to Construction" has been submitted to and agreed in writing by the Local Planning Authority. The development shall not commence unless and until the measures required by that scheme have been implemented, to the written satisfaction of the Local Planning Authority and all measures required by the scheme shall continue until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
9. A landscaping scheme, including details of tree planting, shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
10. Provision for lifetime homes shall be incorporated into the development in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority prior to the development hereby approved commencing. The development shall then be carried out incorporating the measures in accordance with the approved scheme unless otherwise agreed in writing with the Local Planning Authority.
Reason. To ensure that the development is fully accessible to disabled persons pursuant to Policies HT5/1 – Access for Those with Special Needs of the Bury Unitary Development Plan.
11. The development hereby approved shall only be carried out in accordance with the recommendations in the bat survey, dated 2 March 2012.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
12. The Developer, within one week of the commencement of development shall

ensure that there is provision to be made for the parking on site of operatives' and construction vehicles together with storage on site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and that area shall not be used for any other purposes other than the parking of vehicles and storage of construction materials respectively.

Reason. To ensure adequate off street car parking provision for the duration of the construction period in the interests of road safety pursuant to Policy H2/1 - The Form of New Residential Development and Policy H2/2 - The Layout of News Residential Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54764

**ADDRESS: 46-48 Bury Old Road
Prestwich**



Planning, Environmental and Regulatory Services 1:1250

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54764

Photo 1

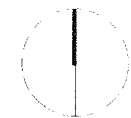
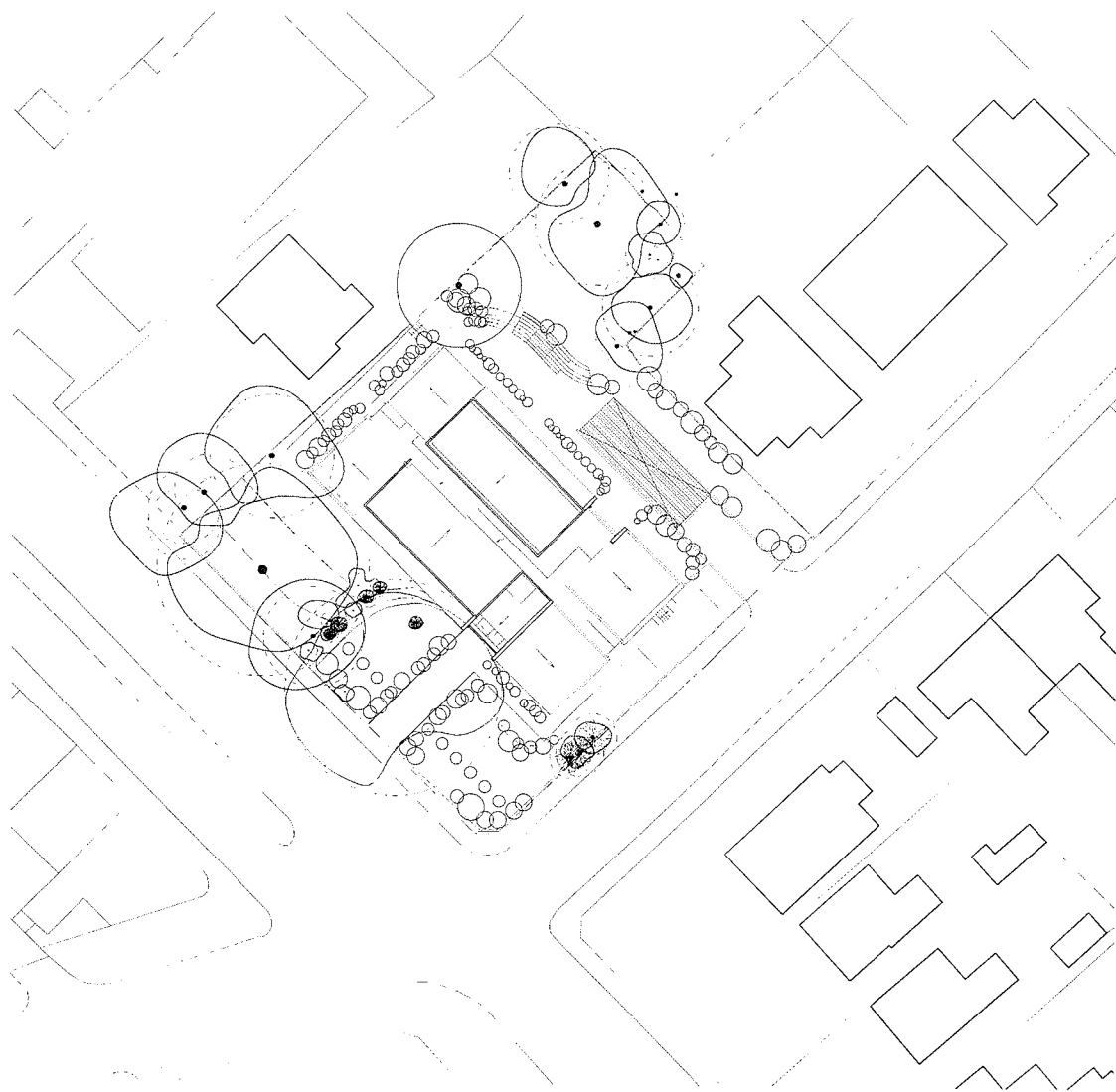


Photo 2



Photo 3



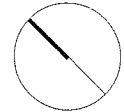
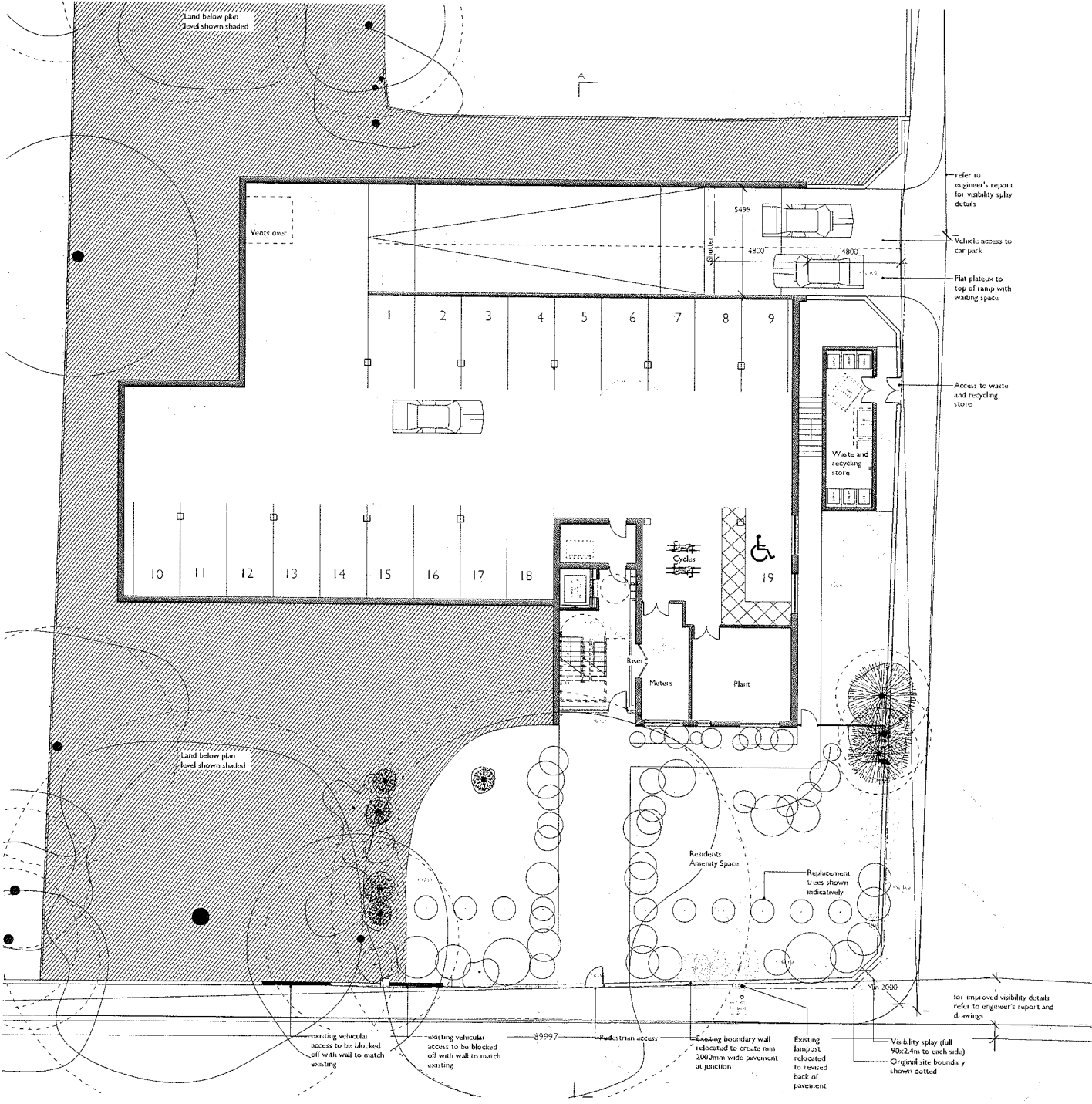


description	date	rev

46-48 Bury Old Road	scheme 343
	no. P(900)
Site Plan Proposed	rev. -
	scale 1:500 (A3)
	date June 2016
	d.men. new

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 MK Archt P: proposal T: tender C: construction AB: other



- Key
- Tree canopy
 - Tree root protection zone

Refer to engineer's report for visibility splay details

Vehicle access to car park

Flat plateaux to top of ramp with waiting space

Access to waste and recycling store

for improved visibility details refer to engineer's report and drawings

existing vehicular access to be blocked off with wall to match existing

existing vehicular access to be blocked off with wall to match existing

89997 Pedestrian access

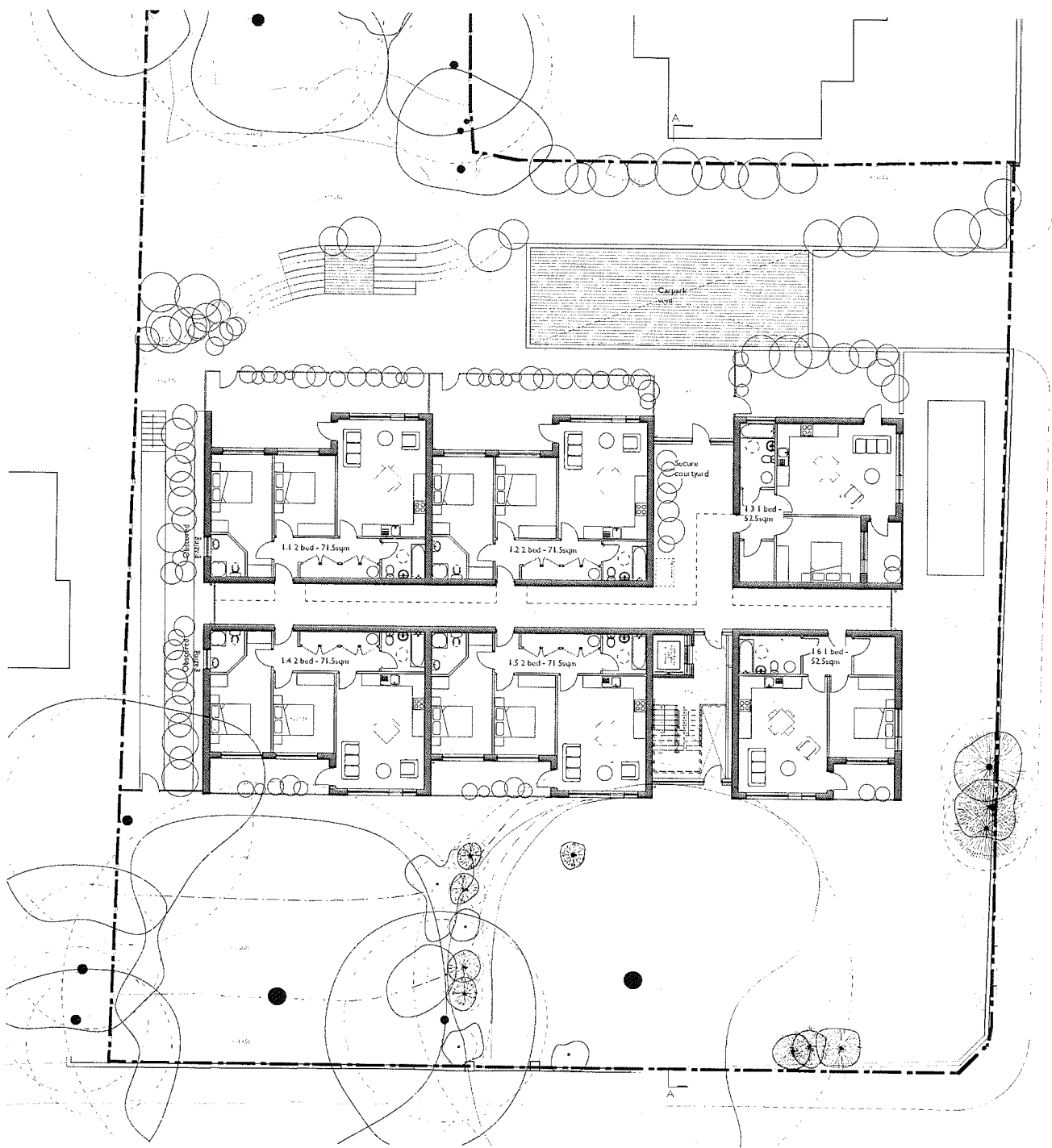
Existing boundary wall *relocated to create min 2000mm wide pavement at junction

Existing lamp-post relocated to reveal back of pavement

Visibility splay (full 90x2.4m to each side) Original site boundary shown dotted

I.O wall to bin store revised	Mar 12	G
I.O splay added	Mar 12	F
I.O notes revised	Jan 12	E
I.O Post planning change - ramp widened to 5.5m	Sept 11	D
I.O Landing to top of ramp created	July 10	C
I.O Flat numbers reduced and massing reconfigured following Planning comments	July 10	B
I.O General revisions	June 10	A
description	date	rev

46-48 Bury Old Road		reference	1343
		no.	P(100)
		rev.	G
Ground Floor Plan		scale	1:500 A3
Proposed		date	May 2012
		drawn	revy
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- Key
- Tree canopy
 - Tree root protection zone
 - Existing to be removed

1.0 Ramp position revised following Planning comments	Sept 10	C
1.0 Flat numbers reduced and missing reconfigured following Planning comments	July 10	B
1.0 General revisions	June 10	A
Description	Date	REV

46-48 Bury Old Road

1st Floor Plan
Proposed

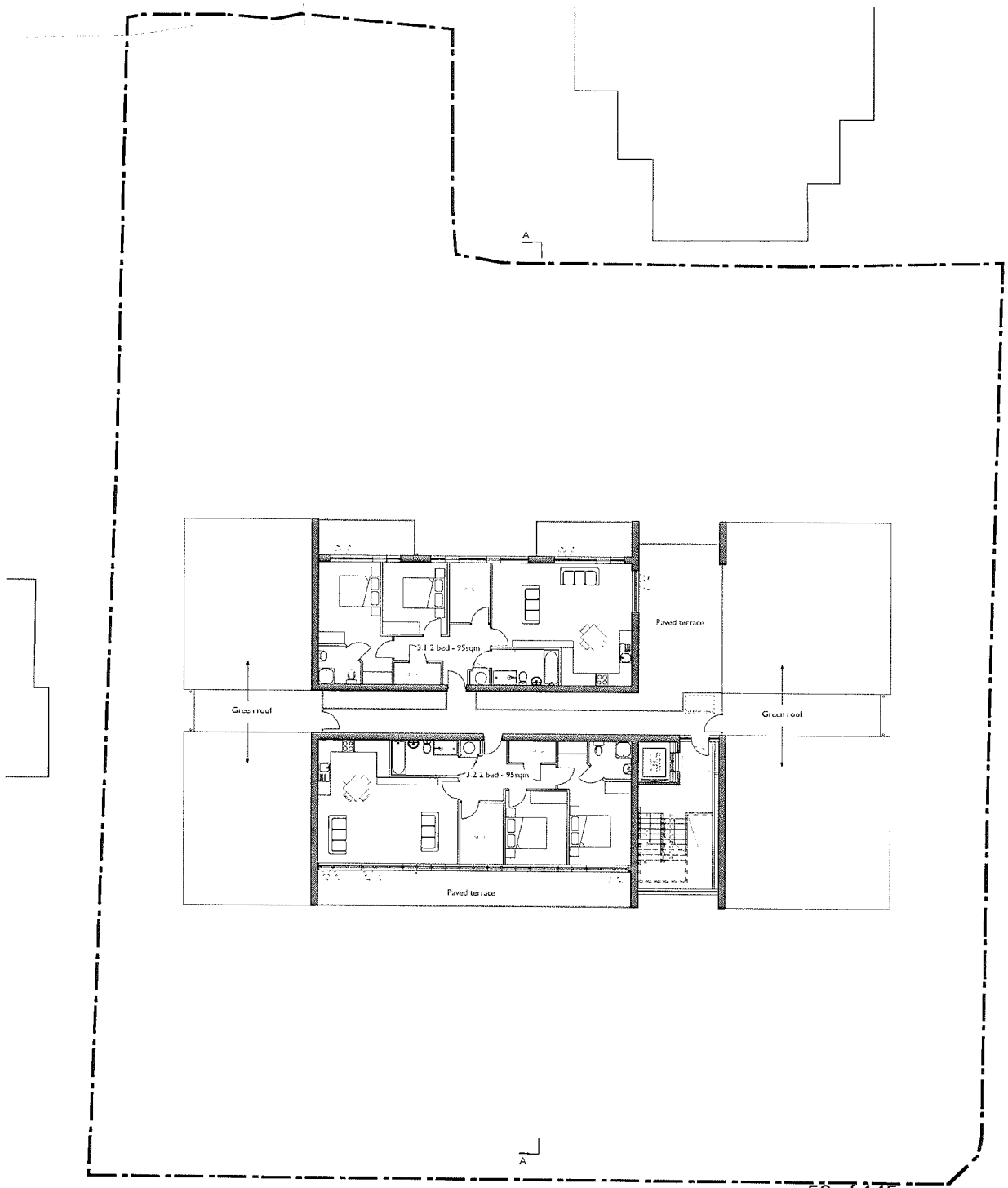
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DATE: 1009/04/13
BY: MJC
CHECKED: HSW

1343
P(101)
C

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SK sketch P proposed T tender C construction AB above



I.O Minor revisions	Sept 10	D
I.O Flat numbers reduced and massing reconfigured following Planning comments	July 10	C
I.O 2.1 and 2.4 revised following Client comments	June 10	B
I.O General revisions	June 10	A
Description	Date	Rev

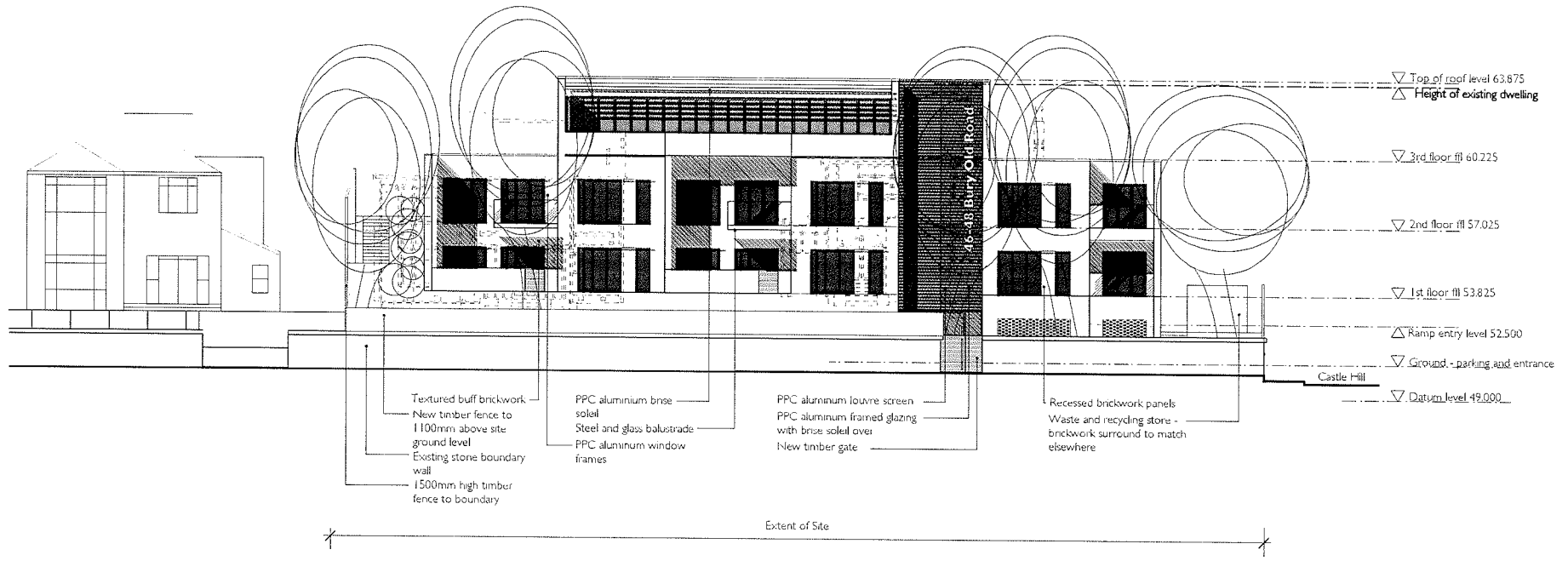
46-48 Bury Old Road	Issue	1343
	Rev	P(103)
	Rev	D
3rd Floor Plan	Task	DISREGARD
Proposed	Date	14/01/2016
	Drawn	NEW

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Key

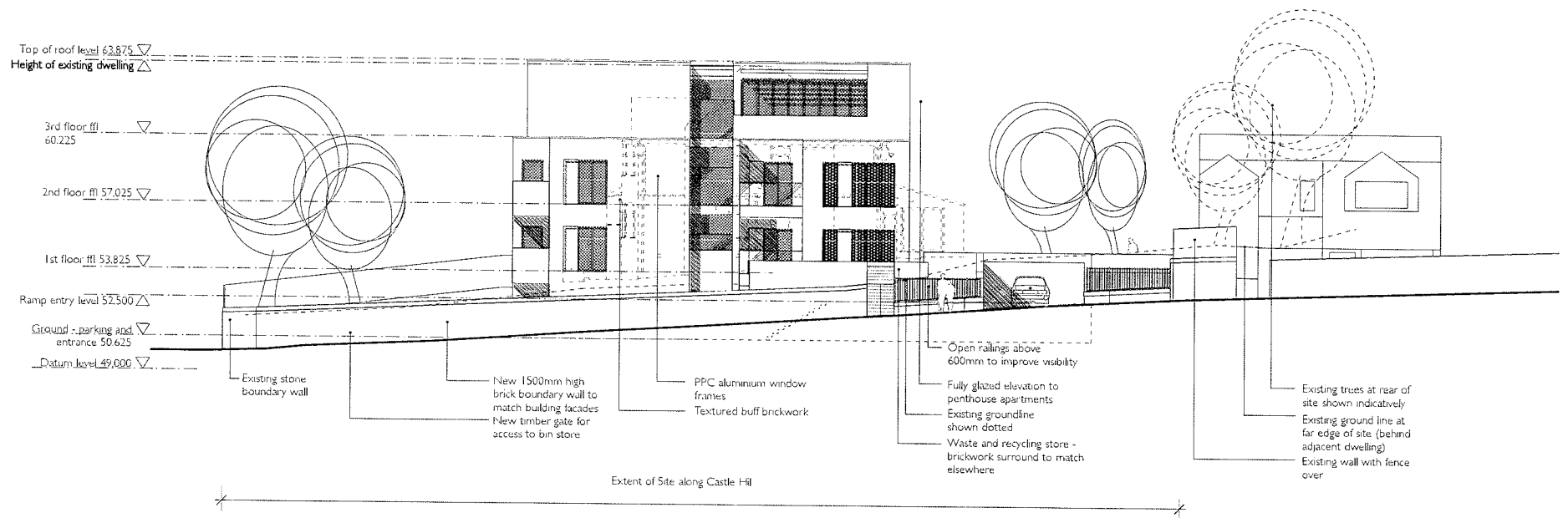
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1.0 Minor amendments	Sept 10	D
1.0 Flat numbers reduced and missing reconfigured following Planning comments	July 10	C
1.0 2nd floor revised following Client comments	June 10	B
1.0 General developments	June 10	A
Description	Date	rev

46-48 Bury Old Road	NAME	[343]
	NO	P(201)
	REV	D
Bury Old Road Elevation	DATE	12/09/13
	BY	PLR/DIC
	APP	REV
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<small>MAKIN ARCHITECTS & DESIGNERS</small>	<small>e: 0181 238 0051 a: arch@makinarchitecture.com</small>	<small>SK Smith P. Prasad T. Fisher C. Coombes AB 01/10</small>

----- Existing to be removed



1.0 Boundary treatment modification	Mar 12	E
1.0 Boundary treatment improved adjacent to entrance	Jun 12	D
1.0 Minor amendments	Sept 10	C
1.0 Flat numbers reduced and missing, reconfigured following Planning comments	July 10	B
1.0 General developments	June 10	A
Description	Date	REV

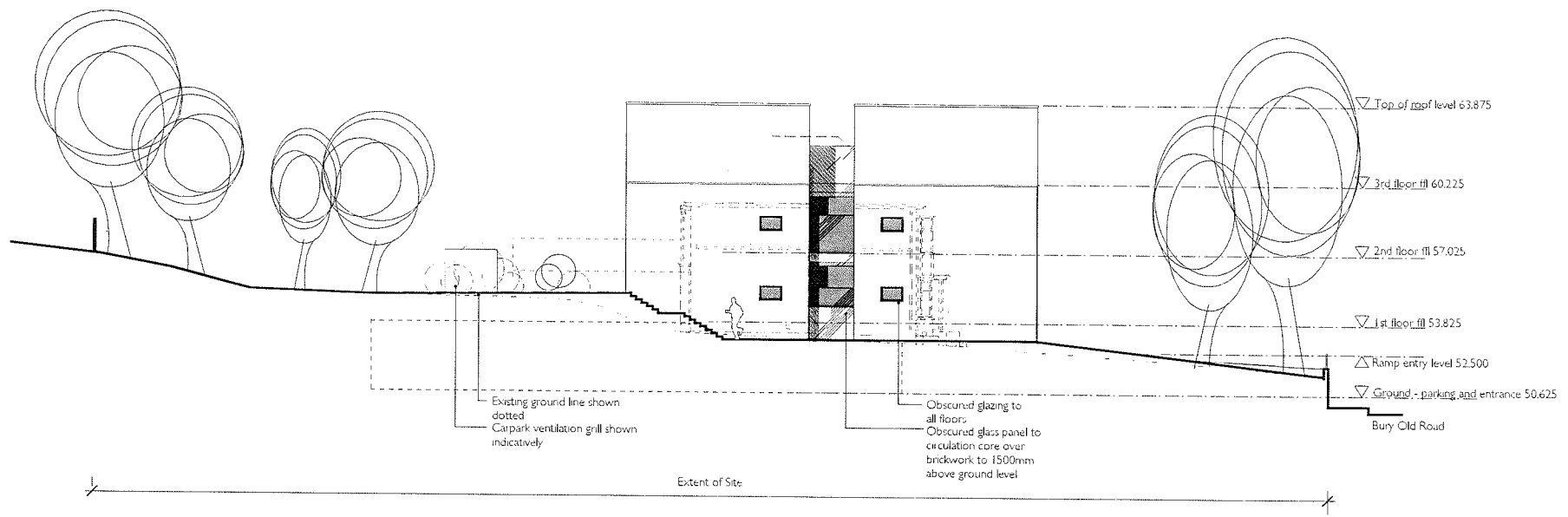
46-48 Bury Old Road	sheet 1343
	no P(200)
	rev E
SE Elevation along Castle Hill	scale 1:100
Proposed	date Mar 2012
	drawn NEW

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 ARCHITECTS

Key

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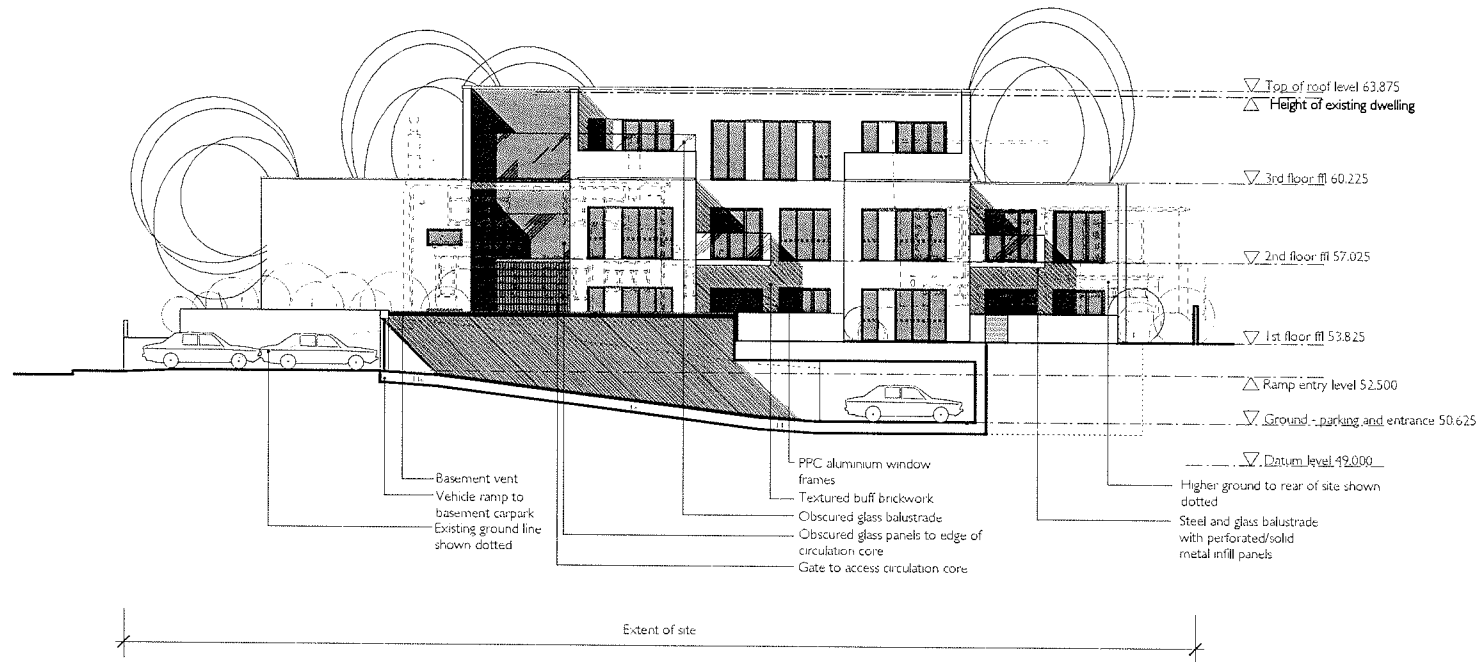


1.0 Ramp position revised	Sept 10	D
1.0 Flat numbers reduced and missing reconfigured following Planning comments	July 10	C
1.0 3rd floor revised following Client comments	June 10	B
1.0 General developments	June 10	A
Description	Date	Level

46-48 Bury Old Road		to Ref No	1343
		no	P(203)
		rev	D
NW Elevation		no. of	1 Drawing
Proposed		date	14 Jun 2011
		drawn	HWZ
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Key

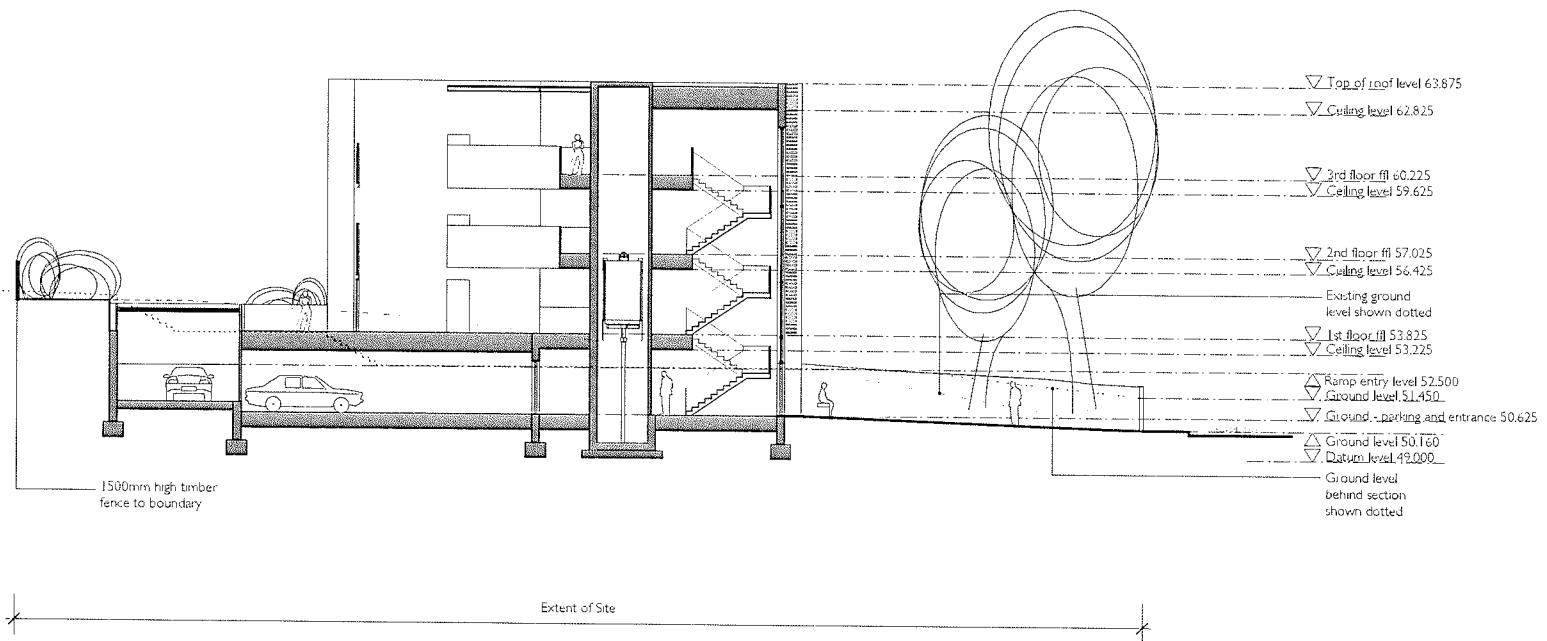
----- Existing to be removed



description	date	rev
1.0 Ramp position revised	Sept 10	D
1.0 Flat numbers reduced and missing reconfigured following Planning comments	July 10	C
1.0 3rd floor revised following Client comments	June 10	B
1.0 General developments	June 10	A

46-48 Bury Old Road	1343
	P(202)
	D
NE Elevation (Rear)	1:200 (A3)
Proposed	May 2016
	REV

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 3K March P prepared T tender C construction AB issue



I/O Section revised to suit new plan	Sept 10	A
Description	Date	Rev

46-48 Bury Old Road	Sheet	1343
	Rev	P(300)
	Rev	A
Section AA	Scale	1:1000
Proposed	Date	My 2010
	Drawn	HRW

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Ward: Radcliffe - West

Item 04

Applicant: WHB Construction

Location: Former Turf Hotel, 143 Water Street, Radcliffe, Manchester, M26 3BJ

Proposal: Change of use from public house (Class A4) to ground floor offices (Class B1) and 2 no. flats at first floor with parking at rear

Application Ref: 54773/Full

Target Date: 20/03/2012

Recommendation: Approve with Conditions

Description

The application relates to a vacant public house on the western side of Radcliffe. It is a detached three storey building, rendered on three sides with the rear elevation clad in slate. The area to the rear is open and is accessed from Turf Street at the side and from Water Street at the front.

The area is a mixed residential commercial area with houses on either side, to the rear and commercial works across Water Street and there is also a mini-bus company to the rear.

The mixed use proposal has three elements:

- The change of use of the ground floor public house to offices for the applicant's building company.
- The change of use of the first floor to two flats.
- The external works include the creation of an amenity space for the flats on land adjacent to the east elevation, an amenity space for the offices on the west side and a bin store and parking area for both flats (5 spaces) and offices (7 spaces) at the rear.

Access would be gained from Turf Street as the narrow secondary access onto Water Street from the unadopted Wright Street is relatively restricted.

Relevant Planning History

None relevant.

Publicity

The following 22 neighbours were notified by letters dated 25/01/2012 and 23/03/2012. Nos.1-11 Turf Street, 2-6 (evs) Dean Street, 137 - 141 Water Street, 145-149 Bolton Road, The Works Turf Street, The Smithy Richard Street.

Two representations by residents at 137 and 141 Water Street and their concerns are summarised below:

- The office parking bays marked out at the rear would restrict access and parking along the unadopted Wright Street.
- It would make access difficult for emergency vehicles.
- The jockeys mounting stone that was at the entrance to the site has disappeared.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objection.

Unitary Development Plan and Policies

EC4/1 Small Businesses

EC5 Offices

EC5/3 Other Office Locations

H2/4	Conversions
H1/2	Further Housing Development
EN1/2	Townscape and Built Design
SPD11	Parking Standards in Bury

Issues and Analysis

Principle - The proposal enables development to be directed towards the urban area avoiding the need to release peripheral open land. The development therefore complies with Policy H1/2 - Further Housing Development. Given its former use as a public house with accommodation above together with the lengthy vacancy period, the proposed mixed use development, with offices on the ground floor and residential above, is welcomed as it would bring the building back into productive use within the locality.

Design and Appearance - Whilst there are no major structural alterations to the building, the proposal would retain the buildings original Neo-Georgian architectural style and improve its the appearance on the streetscene since it has become somewhat run-down during its period of vacancy.

Parking and access - The five spaces allocated for the residents parking to the rear of the property are considered adequate as they would comply with policy guidance note 11 relating to parking and would not be detrimental to road safety.

The spaces allocated for the offices, to the rear are also considered adequate. The concerns of the local residents with regard to the position of the parking spaces restricting access and parking along Wright Street and to the rear of properties on Water Street are not considered matters that could lead to a refusal of the proposal on planning grounds.

The land between Turf Street and Wright Street has remained open for many years and local residents have used it to park cars. Whilst the plans do not indicate that either access, from Turf Street or down Wright Street, is to be blocked off, the right to cross the ground or park on it is a matter for the landowner rather than the Local Planning Authority. It is noted that Wright Street is not part of the applicant's site and remains open and that the access road at the rear of the houses on Water Street (131-141) is wide enough to be able to park a car and still afford access.

In response to concerns and in order to show that it is not the intension to restrict reasonable access, the applicant has removed 2 office parking spaces at the rear, thereby increasing the gap between any cars parked at the rear and the side boundary of No.1 Turf Street.

Residential Amenity - The amount of amenity space within the site comprises a fenced off rectangular area at the side of the building measuring 85sqm and is considered to be adequate to cater for the needs of the future residents. The amenity of surrounding residents is not seriously affected by the proposed development.

Neighbour concerns - The main concern of the neighbours is related to parking and access and this has been addressed above. The mounting stone is not protected and therefore its apparent removal, referred to in one neighbours representations, is not a reason to refuse the proposal.

Recreation Provision - As the application was submitted before the new guidance contained within SPD 1 - Open Space, Sport and Recreation Provision and New Housing Development came into force, the applicant is not required to make any contribuuiion to recreation provision through planning.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the

reason(s) for granting permissions can be summarised as follows:-

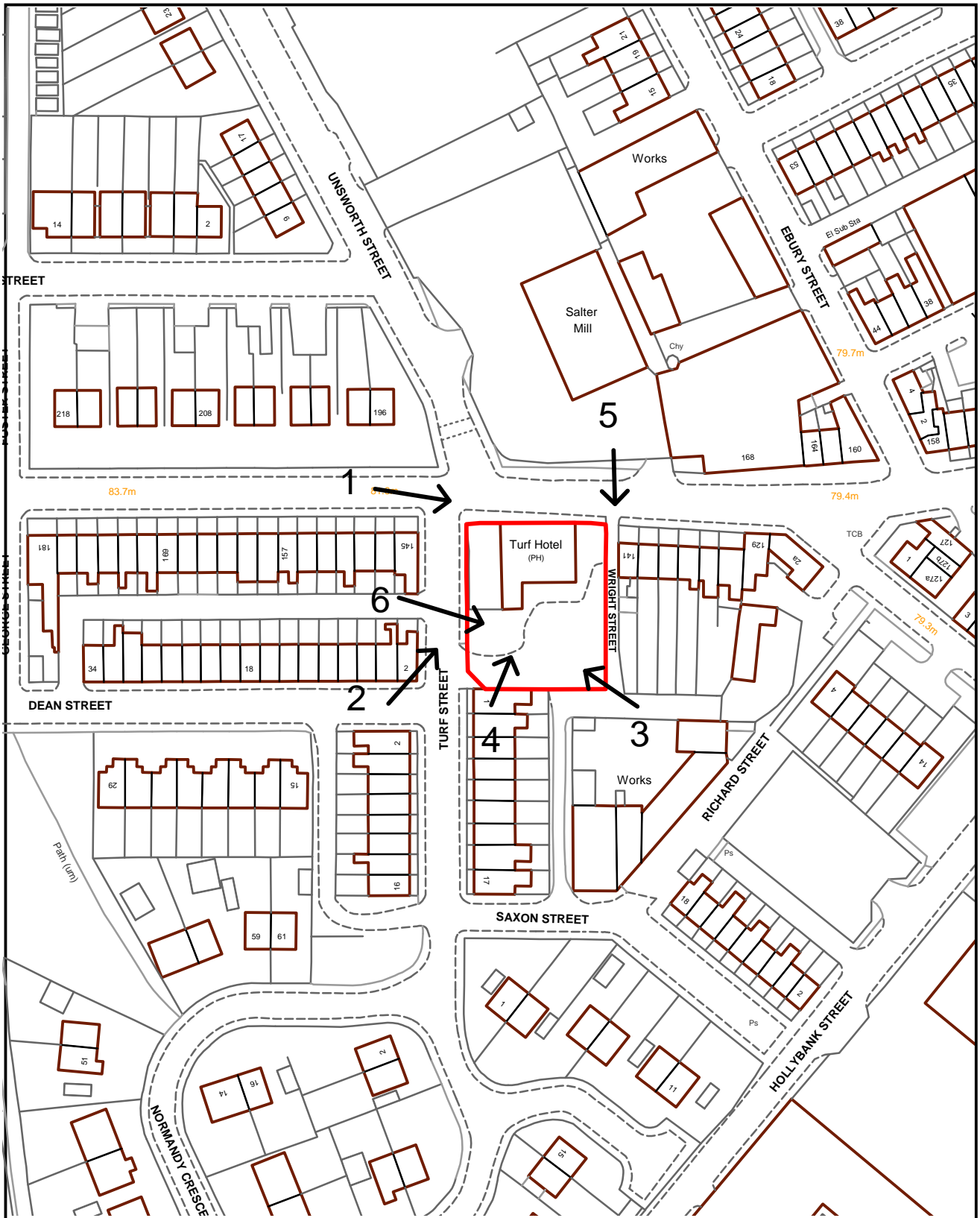
The proposed change of use and associated works should improve the general appearance of the site. The proposal would not have a detrimental impact on the visual or residential amenity of nearby occupants and complies with UDP policies listed. There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 1622 L1.01, 1622 2.01, 02/B and 03/D and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external finishing materials for the proposal hereby approved shall match those of the existing building.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. Prior to the commencement of development, a sample of the proposed boundary fencing indicating the finish and colour, shall be submitted to and approved in writing by the Local Planning Authority.
Reason - To secure the satisfactory development of the site and in the interests of the visual amenities of the area pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
5. There shall be no direct means of vehicular access between the site and Water Street
Reason. To ensure good highway design in the interests of road safety pursuant to UDP Policy HT6/2 Pedestrian/Vehicular Conflict.
6. The use hereby approved shall not be commenced unless and until the reinstatement of the redundant vehicular access onto Water Street to adjacent footway levels and works to the boundary wall indicated on approved plan reference 1622 2.03 Revision D have been implemented to the written satisfaction of the Local Planning Authority.
Reason. To ensure good highway design in the interests of road and pedestrian safety and to maintain the integrity of the adopted highway pursuant to UDP Policy HT6/2 Vehicular/ Pedestrian Conflict.
7. The car parking indicated on the approved plan 1622 2.03/D shall be surfaced, demarcated and made available for use to the written satisfaction of the Local Planning Authority prior to the use hereby approved commencing and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
8. There shall be no external commercial storage within the site.
Reason. In the interests of residential amenity pursuant to UDP Policy EC4/1 Small Business.

Viewpoints



Planning Application Location Plan

App No. 54773

**ADDRESS: Former Turf Hotel
143 Water Street
Radcliffe**

E D S



1:1250

(C) Crown Copyright and database right (2011). Ordnance Survey 100023063.

54773

Photo 1



Photo 2



Photo 3



Photo 4

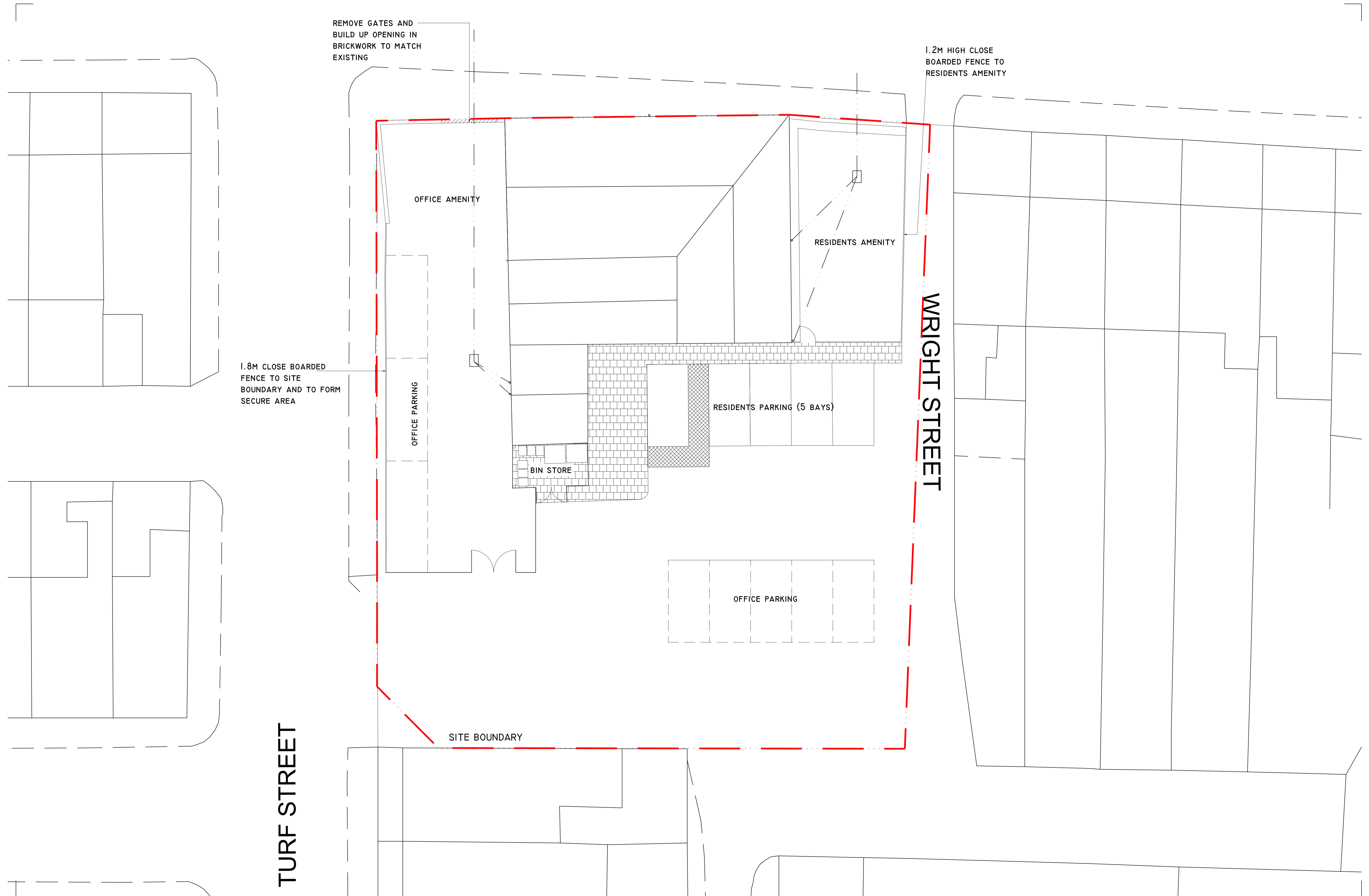


Photo 5



Photo 6





REMOVE GATES AND BUILD UP OPENING IN BRICKWORK TO MATCH EXISTING

1.2M HIGH CLOSE BOARDED FENCE TO RESIDENTS AMENITY

1.8M CLOSE BOARDED FENCE TO SITE BOUNDARY AND TO FORM SECURE AREA

OFFICE AMENITY

RESIDENTS AMENITY

OFFICE PARKING

RESIDENTS PARKING (5 BAYS)

BIN STORE

WRIGHT STREET

OFFICE PARKING

TURF STREET

SITE BOUNDARY

All levels and dimensions must be checked on site by contractor prior to commencement of works. Any variations must be reported to Philip Millson Architecture.

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Drawing Status

Approval Tender Construction Information Preliminary As Built

Scale [M]

1:50 8m

1:20 3.2m

Revision	Date	By	Description
A	24.1.12	JP	Parking clarified
B	6.2.12	JP	Site Boundary added for clarity
C	21.2.12	JP	Amended to reflect Planning comments-
D	27.2.12	JP	Amended to reflect Planning comments-
F	2.4.12	JP	Parking Amended

pma
Philip Millson Architecture

Project Title
Redevelopment of
The Turf Hotel
143 Water Street
Rosedale BL2 5SH

Drawing Title
Proposed Site Layout
and Landscaping

Drawing Number
1622 2.03

Revision
F

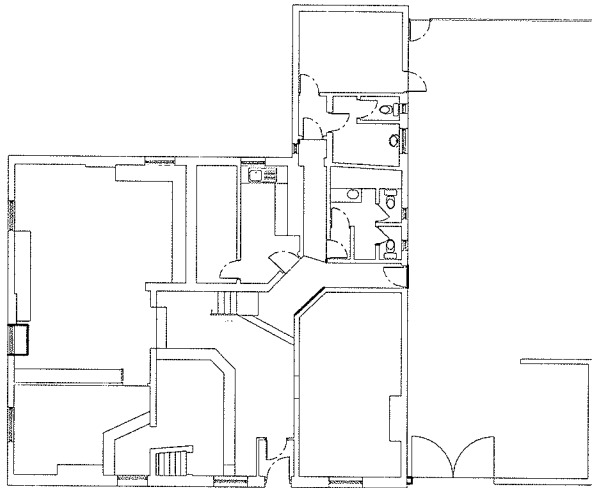
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JP

Checked
Date

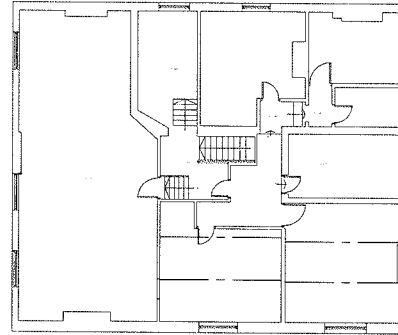
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Philip Millson Architecture Limited, Hyde Park House, Cartwright Street, Newton, Hyde, Cheshire, SK14 4EH also in Christchurch, New Zealand

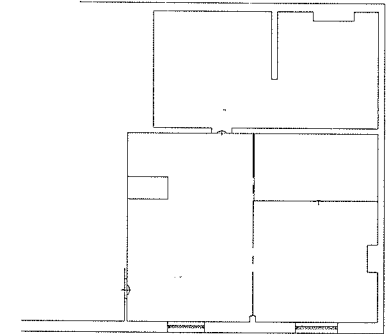
T: +44(0)161 367 2320 F: +0(0)161 367 7322 W: philipmillsonarchitecture.co.uk E: info@philipmillsonarchitecture.co.uk Registered in Cardiff No 2170580



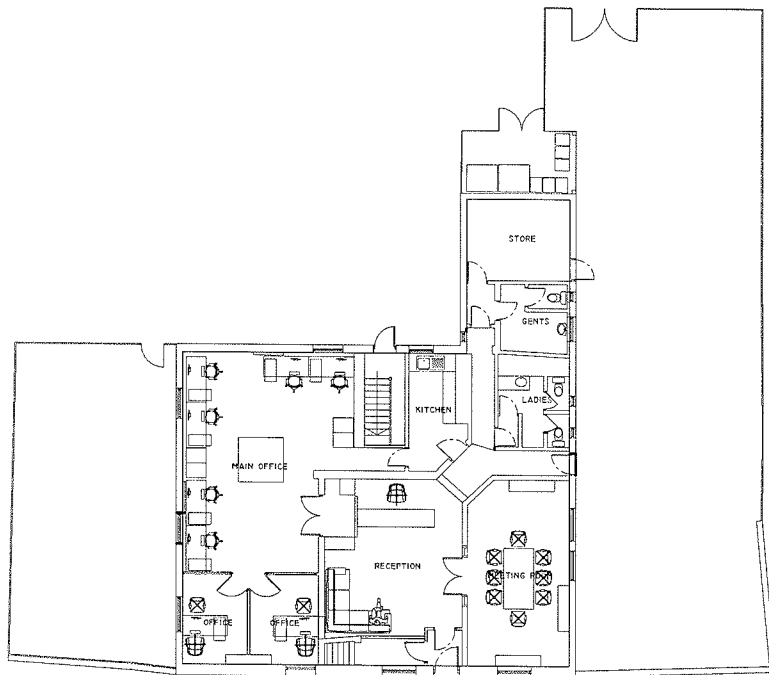
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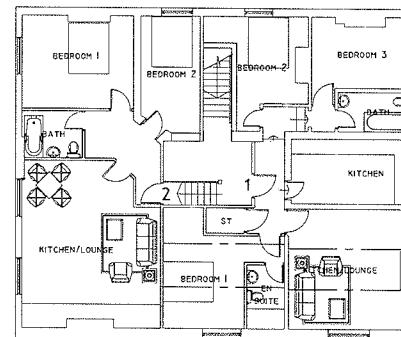
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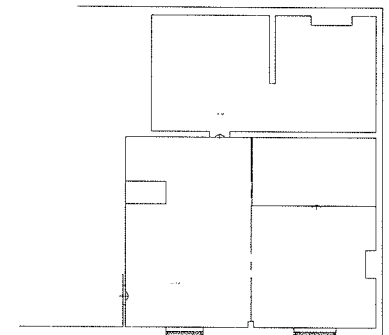
EXISTING SECOND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



EXISTING SECOND FLOOR PLAN

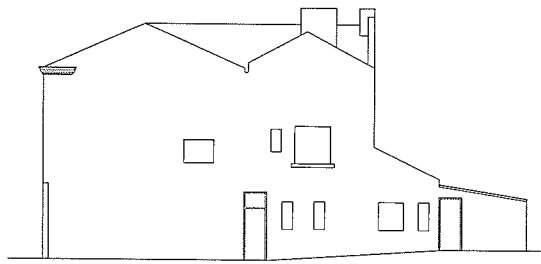
Steel Clad
 Asphalt Timber Construction Masonry Preliminary As Built
 Other

Name: A 23/2012 JP
 Approved: Following Planning Officer's comments

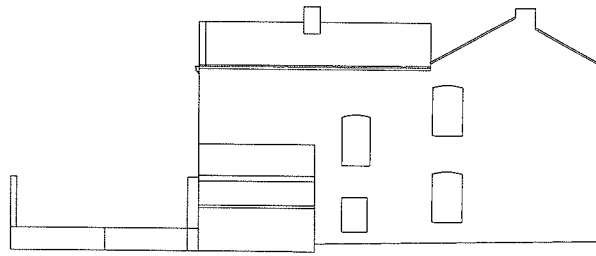


Prepared for:
 The Applicant
 1622/2.01
 Planning and Development Team

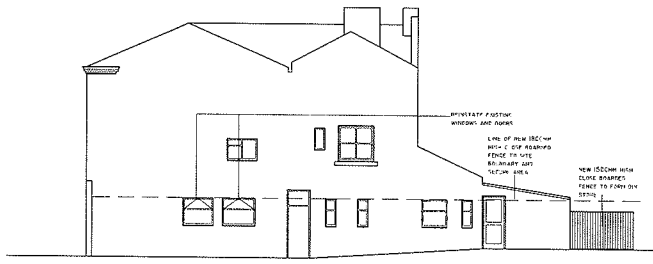
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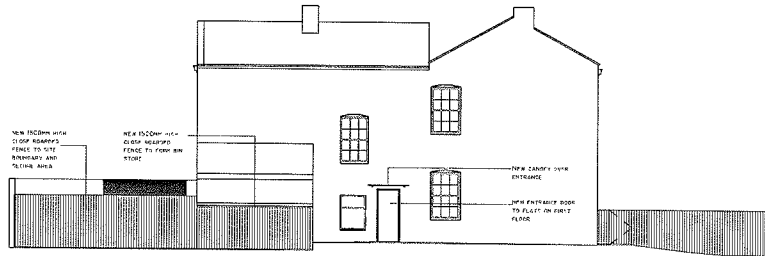
EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



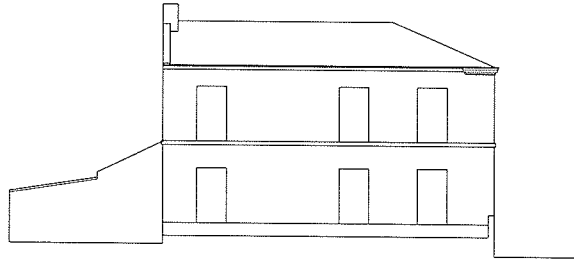
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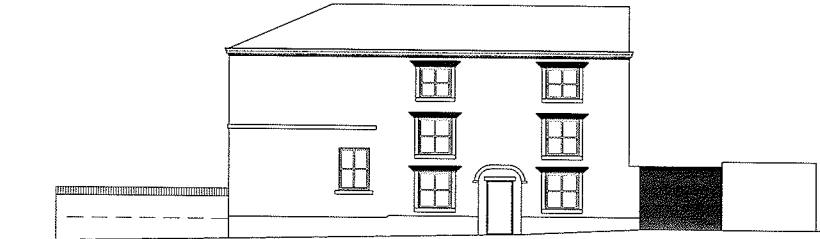
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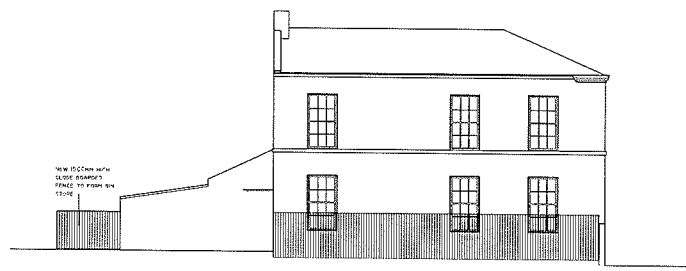
EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION

<p>All levels and dimensions must be checked on site by the contractor before commencement of any work. Any variations must be reported to the Client before any work is carried out.</p> <p>All work to be carried out in accordance with the relevant Building Regulations and Approved Documents.</p>	<p>Approval <input type="checkbox"/> Tender <input type="checkbox"/> Construction <input type="checkbox"/> Information <input type="checkbox"/> Preliminary <input type="checkbox"/> As Built <input type="checkbox"/></p>	<p>Scale: A: 1:200, B: 1:500</p> <p>Amended to reflect Planning Comments</p>	<p>1622 2.02</p> <p>B</p> <p>Project Management</p>
	<p>1:50</p> <p>1:200</p>	<p>71 of 145</p>	

Ward: Whitefield + Unsworth - Unsworth

Item 05

Applicant: Viridor Waste Management Ltd

Location: Pilsworth North Quarry, Pilsworth Road, Bury, BL9 8QZ

Proposal: Revised restoration and ecological scheme to Pilsworth North Quarry and Landfill (Amending approval 34895)

Application Ref: 54831/Full

Target Date: 04/05/2012

Recommendation: Minded to Approve

Minded to Approve subject to the signing of a legal planning agreement

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement to tie this proposal into the operations for the restoration of the site and ensure long term public public access pursuant to Policy RT3/2 - Additional provision for recreation in the countryside, MW4/1 - Assessing Waste Disposal Proposals and MW4/1 Development Control Conditions (Waste) of the adopted Unitary Development Plan. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

Pilsworth North is a former sand and gravel quarry which has been infilled using controlled waste and is in the process of restoration being undertaken by Viridor Waste Management to use the land post operations for agricultural and woodland use. Part of the site, on its northerly and westerly side is within Rochdale Council administrative area.

Landfilling on the site ceased in 2006/7 and has been partially restored in accordance with the originally approved restoration concept scheme under 34895 and D35961 (Rochdale Council).

The application has been submitted to modify an approved restoration scheme for Pilsworth North Quarry and Landfill operation and involves no additional tipping, re-profiling or amendments to the scope of the original operations. The amended scheme includes more varied planting within the site and the area to the west and north of the site would not be planted as it previously intended. The reasoning behind the submission is to take account of existing site infrastructure, planning and lease commitments and the requirements of the site's landlords regarding proposed after uses for grazing cattle. In addition to this the proposals are seeking to modernise the planting proposals and implementation in a way that reflects today's modern practices and choices in relation to landscaping, environmental policy, informal public access and green infrastructure.

Relevant Planning History

Pilsworth South

53453 - Vertical and lateral extension, re-phasing and enhanced restoration and ecological scheme at Pilsworth South Landfill within the consented site boundary - Minded To Approve - awaiting signing of s106 agreement.

54012 - Waste Reception, Transfer, Recycling and Pre-treatment Facility. - Approve with Conditions 09/08/2011.

Pilsworth North

54563 - Scrap metal and aggregate/soils recycling facility - Approve with Conditions 25/01/2012.

54860 - Article 16 Consultation - Revision of restoration and ecological scheme approved under planning permission D35961 - submitted to Rochdale Council for consideration.
 34895 - Modifications to existing landfilling site, final restoration contouring, creation of a landscape buffer and green waste composting - Approved 23/3/99.
 33805 - Modifications to easterly area of Pilsworth Quarry - Approved 19/3/98.
 30237 - Extension to existing quarrying and landfilling operations to the east and south, including restoration to agriculture and woodland - Approved 20/7/95.
 28072 - Revised landfill and restoration scheme - Approved 4/3/93.
 27079 - Mineral extraction and backfilling to the north and including Moorhole Farm - Approved 1/10/92.
 18859 - Sand extraction and subsequent backfilling at land between Jackson Fold farm and Moorhole Farm - Approved 17/3/87.

Publicity

Letters were sent to 49 addresses including: Spout Bank farm, East Lancs Railway, 8-20 Laverton Close, Hanson Transport Moss Hall Road, Barlocher Ltd Moss Hall Road, Bury Commercials and Fitters Mate Heywood Distribution Park, Hand Cottage, 5-25 Moss Hall Road, Three Arrows Inn Pilsworth Road, Jackson Fold Farm Pilsworth Road, ASDA, Pilsworth Pumping Station, 1-4 Grassington Drive; 1, 3 and 12 Stanbury Close; 2-6 Laverton Close; Beaumont Ltd; Pentagon Glass; TC Transport; Direct Uk; Jost GB Ltd and Next Distribution - on 7/2/12;

A site notice was erected on 9/2/12 and a press notice was published in the Bury Times on 16/2/12. As a result of this publicity there have been no objections received.

Consultations

Traffic Section - No objections subject to conditions relating to the implementation of acceptable visibility splays at the junction of the access road with Pilsworth Road..
 Borough Engineer - Drainage Section - No objections.
 Environmental Health Contaminated Land/ Air Quality - No objections.
 Public Rights of Way Officer - No objections.
 Environmental Projects - No objections.
 Environment Agency - No objections subject to planning conditions on the delivery of the restoration scheme in accordance with the plans and details submitted.
 Greater Manchester Police - designforsecurity - No objections.
 Greater Manchester Ecology Unit - No objections subject to planning conditions on the delivery of the restoration scheme in accordance with the plans and details submitted.
 Rochdale MBC - No objections.
 The Highways Agency - No objections.
 The Ramblers Association (Bury) - No objections.

Unitary Development Plan and Policies

OL1	Green Belt
MW1	Protection of Mineral Resources
EN9/1	Special Landscape Areas
RT3/2	Additional Provision for Recreation in the Countryside
MW4/1	Assessing Waste Disposal Proposals
MW4/2	Development Control Conditions (Waste)
EN8/2	Woodland and Tree Planting
EN8/3	Red Rose Forest
OL1/5	Mineral Extraction and Other Dev in the Green Belt
RT3/2	Additional Provision for Recreation in the Countryside
NPPF	National Planning Policy Framework
EN6/4	Wildlife Links and Corridors
EN6/3	Features of Ecological Value

Issues and Analysis

Principle - The proposals are amendments to an already approved scheme under 34895. As such the principle of the development has already been accepted.

Policies - UDP Policy MW4/1 - Assessing Waste Disposal Proposals and MW4/2 Development Control Conditions (Waste), provide key policy considerations of development proposals before, during and after landfill operations have taken place. The policies seek to ensure that, in particular, sites are properly restored, with appropriate aftercare and that suitable land uses can occur beyond the tipping operations.

Policies EN8/2 - Tree and Woodland Planting and EN8/3 - Red Rose Forest seeks to ensure that tree planting makes a positive contribution to the natural landscape through the planting of indigenous species.

The site is within the Green Belt and policy OL1/5 - Mineral Extraction and Other Development in the Green Belt seeks to ensure that developments do not have an adverse impact upon the openness or character of the Green Belt and that the site is well restored.

Policy RT3/2 - Additional Provision for Recreation in the Countryside - seeks opportunities for long terms recreational use of land and encourages the re-use of derelict land or as in this instance future recreation use of a site.

Policy EN9/1 - Special Landscape Areas ensures that any development that is permitted will be strictly controlled and in terms of its visual impact and will ensure that a high standard of design is implemented to minimise obtrusiveness.

Tree Planting and Restoration - The site is no longer used for tipping and is in the process of restoration. The proposals are seeking to improve the type of planting within the restoration scheme with more indigenous species and species that are appropriate to a woodland mix in the north of England. Following suggestions from the Greater Manchester Ecology Unit and the Council's ecologist, the proposed tree, hedgerow and grassland mix needs to be further altered to strengthen the local biodiversity and planting appropriateness to this locality. The proposals can readily achieve this without undue alteration to the intentions of the scheme. The applicant has acknowledged that this can be done and that they are willing to acquiesce to this requirement. On this basis, the proposals are considered to be acceptable and planning conditions should be imposed to ensure that this development is carried out in accordance with the approved principles and details.

In terms of fauna, the scheme proposes mixes of planting that would encourage wildlife and bird and wetland habitation. The working area has ecologically been disturbed for many years whilst works have been undertaken to extract minerals and import waste into the site. The proposals would significantly improve the ecological value of the site and its contribution to the area and would strengthen the wildlife link and corridor that exists in this area. The site has been subject to extensive and repeated ecological survey and proposal that have come forward, whilst currently in principle lack certain details of implementation and specifications. However, following consultation with GMEU and the Council's own ecologist, the lack of this detail, given the previous operations on the site, would not prevent the effective and appropriate use of planning conditions to secure this matter.

Long Term Use - The proposals are seeking to permit land to be farmed by the local farmer for cattle. The proposals have therefore amended the siting of hedgerows and woodland copses to provide larger grazing areas than was previously shown. The remaining areas would be planted with extensive areas of tree planting, grasslands, ponds and walkways to maintain an ability to give public access through the site. The proposals would therefore meet criteria relating to tree and woodland planting and informal recreational use.

The site and proposals have been assessed in relation to the impact upon the visual and landscape character of the area. The landform that the site has been restored to complies with the anticipated landfilling levels of the previous planning permission for final tipped levels. The only requirement on top of this would be through the importation of screened top soil material, which would be a nominal depth by comparison to enable tree planting, grass habitats and hedgerows to establish. The visual landscape assessment submitted with the

scheme shows no adverse impact upon the landscape as a result of the proposals. These findings are accepted.

s106 Agreement - The site has been subject to a previous planning agreement which would need to be visited to reflect the proposals subject to consideration within this scheme. There will be a need to ensure that the provisions within the extant agreement are brought forward in an appropriate manner to secure long term maintenance, public access and restoration in the case of a default situation.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

The proposals would provide for an appropriate aftercare provision for the site together with long term management and aftercare. The proposals would accord with National and Local Policies described and without any undue impact beyond the site itself. The proposals would comply with adopted planning policies and there are no other material considerations that outweigh this finding.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.

Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. Within 3 months from the date of this permission, a landscape management plan, including long- term design objectives, management responsibilities and maintenance schedules for all landscaped areas (except privately owned domestic gardens), shall be submitted to and approved in writing by the local planning authority. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the local planning authority.

The scheme shall include the following elements:

- detail extent and type of new planting, including planting schedule for all new wetland and terrestrial habitats created;
- details of long term maintenance regimes;
- details of any new waterbody realigned/remodelled as part of restoration plan; and
- details of site drainage treatment, which works to enhance the ecological value of the site.

Reason - To ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value pursuant to Chapter 11 - Conserving and Enhancing the Natural Environment of the National Planning Policy Framework and Policies MW4/1 - Assessing Waste Disposal Proposals and MW4/1 Development Control Conditions (Waste).

3. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validatory

evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to Chapter 11 of the National Planning Policy Framework.

4. If during any works on site, contamination is suspected or found, or contamination is caused, the Local Planning Authority shall be notified immediately. Where required, a suitable risk assessment shall be carried out and/or any remedial action shall be carried out in accordance to an agreed process and within agreed timescales to the approval of the Local Planning Authority.
Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to Chapter 11 of the National Planning Policy Framework.
5. No development shall commence unless and until a Preliminary Risk Assessment report to assess the actual/potential ground gas / landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority.
 - Where actual/potential ground gas/landfill gas risks have been identified, a detailed site investigation(s), ground gas monitoring and suitable risk assessment(s) shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation / protection measures are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to Chapter 11 of the National Planning Policy Framework.
6. Following the provisions of Condition 5 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas pursuant to Chapter 13 of the National Planning Policy Framework and UDP Policy MW4/5 - Land Contamination.
7. The development shall be carried out in accordance with the recommendations of the Extended Phase 1 Habitat Survey Report dated November 2011 by Wardell Armstrong. Within 3 months from the date of this permission, the details relating to each of the recommendations within Section 4, including the timing for implementation and aftercare maintenance regimes, shall be first submitted to the Local Planning Authority and the approved details shall be implemented following the written approval of the Local Planning Authority in accordance with the approved timetable.
Reason - To ensure that the proposals deliver the improved conservation and biological diversity sought by the scheme pursuant to the National Planning Policy Framework and EN6/3 - Features of Ecological Value and EN6/4 - Wildlife Links and Corridors.
8. The visibility splays of 4.5m x 120m at the junction of the access road with Pilsworth Road shall be available for use and be maintained clear of any obstruction above 1.05m high.

Reason - To facilitate the intervisibility of users of the site and surrounding highways in the interest of road safety pursuant to UDP Policy HT6/1 - Pedestrian and Cyclist Movement.

9. The type, number and location of the proposed bat boxes shall be submitted to the Local Planning Authority within 3 months of the date of this permission. These boxes shall be erected and maintained in accordance with the provisions within condition 7.

Reason - To ensure that the proposals deliver the improved conservation and biological diversity sought by the scheme pursuant to the National Planning Policy Framework and EN6/3 - Features of Ecological Value and EN6/4 - Wildlife Links and Corridors.

10. This decision relates to drawings and reports titled/numbered Location plan LE11196-004, Existing Approved Restoration Master plan PNW-4B, Extended Phase 1 habitat plan LE11196-002, Landscape restoration master plan LE11196-003, Pilsworth Master plan LE11196-005, Landscape Management elements woodland and hedgerows, Extended Phase 1 habitat survey report, Landscape and B+Visual Assessment Nov 2011, Planning Supporting Statement Jan 2012, Lockhart Garratt Compartment Map with Constraints and Opportunities rev O, Statement of Community Involvement, Viewpoints 1-6 LE11196, Revised Restoration and Ecological Scheme Nov 2011, Appendix A Information on the applicant, Appendix I Specification for grassland establishment, Appendix II Specification for grassland establishment, Appendix III Sward Enhancement: Natural England Technical Information Note, Appendix IV Lockhart Garratt Woodland Management Plan, Appendix V - Outline Aftercare programme, Appendix VI fencing, gates and stiles, Appendix 1 - Extended Phase 1 Habitat Survey, Appendix 2 Species List, Appendix 3 Protected species legislation, Appendix 4 Habitat suitability index and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

11. Notwithstanding the provisions proposed within the Lockhart Garratt Woodland Planting schedules referred to within condition 10, details relating to

- all tree and woodland species to be planted; and
- all hedgerow species mix; and
- proposed management cycles for woodland; and
- the mix of unimproved grassland















within the site shall be submitted to the Local Planning Authority within 3 months from the date of this permission. The approved details only shall be implemented as part of the restoration proposals for the site within the approved timetables required to be submitted and approved within condition 7 of this permission. Any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN6/4 - Wildlife Links and Corridors, EN8/2 – Woodland and Tree Planting, Chapter 11 - Conserving and Enhancing the Natural Environment of the National Planning Policy Framework, Policies MW4/1 - Assessing Waste Disposal Proposals and MW4/1 Development Control Conditions (Waste) of the Bury Unitary Development Plan.

For further information on the application please contact **Dave Marno** on **0161 253 5291**

APPROVED

KEY

-  Deciduous woodland planting
-  Willow coppice
-  Existing hedgerows
-  Proposed hedgerow
-  Restored pasture
-  Rough grass land
-  Wildflower meadow
-  Wetland area
-  Area for heathland restoration
-  View point feature
-  Track / woodland ride
-  Footpath
-  Restoration contours
-  Planning application boundary



APPROVED



PILSWORTH QUARRY

**North-eastern modification
CONCEPT RESTORATION
MASTERPLAN**

BRIGHT & ASSOCIATES
 LANDSCAPE & ENVIRONMENTAL CONSULTANTS
 Pear Tree House
 Dovaston
 Oswestry
 Shropshire
 SY10 8DP
 Tel 01691 682773 Fax 01691 682573

Scale 1 5000
FIGURE 2



DO NOT SCALE FROM THIS DRAWING

- KEY
- SITE BOUNDARY
 - PRE-SETTLEMENT CONTOURS
 - EXISTING WOODLAND
 - PROPOSED BROADLEAF WOODLAND
 - PROPOSED WET WOODLAND
 - PROPOSED BROADLEAF PARKLAND
 - PROPOSED HEDGEROW WITH HEDGEROW TREES
 - BIODIVERSITY GRASSLAND
 - OPEN GROUND
 - AGRICULTURAL GRASSLAND WITH FENCE & GATE
 - DEFINITIVE FOOTPATH
 - PERMISSIVE FOOTPATH
 - SURFACED TRACK AS PERMISSIVE RIGHT OF WAY
 - SURFACED ACCESS TRACK
 - SURFACE WATER FEATURE

AGRICULTURAL GRASSLAND TO BE DEVELOPED WITH A PRODUCTIVE MIX SUITABLE FOR CATTLE GRAZING. HEDGEROW SPECIES TO INCLUDE PREDOMINANTLY HAWTHORN (75%) WITH BLACKTHORN, HAZEL, DOGWOOD & PRIVET (25%) WITH IRREGULARLY SPACED OAK AS HEDGEROW TREES.

PERMANENTLY DIVERTED RIGHT OF WAY RETAINED AS DEFINITIVE FOOTPATH.

AREA OF BIODIVERSITY GRASSLAND WITH INDIGENOUS SANDY SOILS. THE WESTERN SECTION TO BE REINSTATED TO A BIODIVERSITY SWARD/ACID MEADOW.

EXISTING WOODLAND TO BE STRENGTHENED WHERE NECESSARY

EXISTING PONDS ENHANCED FOR ECOLOGICAL VALUE SUITABLE FOR INVERTEBRATES AND AMPHIBIANS.

REPLACEMENT DWELLING AND AGRICULTURAL BUILDINGS

AREAS OF WET WOODLAND SCRAPES TO RESPOND TO LOCAL GROUND CONDITIONS. TO INCLUDE A FULL RANGE OF NATIVE WILLOW SPECIES: CRACK WILLOW, WHITE WILLOW (30%), PURPLE WILLOW, OSIER, ALMOND LEAVED WILLOW, BAY WILLOW (45%), COMMON ALDER, BIRCH (25%) TO BE MANAGED BY COPPING ON A 10/15 YEAR CYCLE.

PERMISSIVE ACCESS VIA FARM TRACK TO PROVIDE LINKAGE ACROSS THE SITE.

BROADLEAF WOODLAND TO INCLUDE A NATIVE MIX OF OAK (65%), PENDUNCULATE & ASH (60%) WITH MINOR BROADLEAVES FIELD MAPLE, SILVER BIRCH, DOWNY BIRCH, WILD CHERRY, HOLLY & COMMON ALDER (25%) & WOODY SHRUBS HAZEL, HAWTHORN & DOGWOOD (1.5%).

WET WOODLAND PLANTED TO STEEPER WESTERN SLOPES OF GIGG BROOK.

AREA OF BIODIVERSITY GRASSLAND WITH GROUPS OF BROADLEAF TREES TO CREATE A WOODED PASTURE. PARKLAND OAK, ASH AND SWEET CHESTNUT PLANTED AS GROUPS OF 6-9 TREES WITH BEST 1-2 SPECIMENS KEPT AFTER 10 YEARS

WETTER AREAS WITH RUSH COLONISATION TO BE KEPT CLEAR OF SCRUB ENCROACHMENT.

AREAS OF ORCHID TO BE RETAINED TO LOWER SLOPES

PERMISSIVE FOOTPATH TO HIGHPPOINT TO RETAIN IMPORTANT VIEWS TO NORTHWEST.

BAT AND BIRD BOXES LOCATED WITHIN EXISTING WOODLAND TO ENCOURAGE BAT ROOSTING AND BIRD NESTING

PROPOSED LINK TO FOOTPATH ON PILSWORTH SOUTH LANDFILL

BIODIVERSITY GRASSLAND TO BE SOWN WITH MEADOW MIX WITH LOW INTENSITY MANAGEMENT, LATE SEASON MOW (AUG-SEPT) WITH 2-3 YEARLY SHEEP GRAZING WHERE ACCESS ALLOWS TO BENEFIT WILDLIFE PARTICULARLY LINNET, SKYLARK AND BROWN HARE

PROPOSED LINK TO FOOTPATH ON PILSWORTH SOUTH LANDFILL

CAR PARK TO BE ENLARGED FOR VISITOR USE.

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B	Background to consent boundary	100%	100%	100%	100%
A	Final Issue	100%	100%	100%	100%

Client: **Victor Waste Management Limited**

Project: **Enhanced Restoration and Ecological Scheme, Pilsworth North Quarry and Landfill**

Drawing Title: **Landscape Restoration Masterplan**

DATE	REV	DESCRIPTION	BY	CHKD	DATE
23/08/11	01	ISSUED FOR PERMIT	WJ	WJ	23/08/11



Ward: Radcliffe - East

Item 06

Applicant: KIDS ZONE

Location: Former Blackburn Street Health Centre, Blackburn Street, Radcliffe, Manchester, M26 1WS

Proposal: New pitched roof with solar panels on rear roof plane

Application Ref: 54865/Full

Target Date: 12/04/2012

Recommendation: Approve with Conditions

Description

The application relates to the former single storey health centre on the edge of Radcliffe town centre. The building is vacant, the health facilities having moved to the new PCT building on Church Street West. Immediately to the north, on the corner of Blackburn Street and New Church Street is a former pharmacy which is currently vacant. St Thomas and St John's church lies across New Street and the civic hall is situated to the east.

The proposal involves adding a pitched roof over the existing flat roofed building. The roof would be pitched at approximately 18° to a maximum ridge height of 6m. It would be steel clad in a grey roof tile profile. The south facing rear roof plane would have solar panels running across almost its entire length (40m).

Relevant Planning History

None relevant.

Publicity

The following 10 properties were notified by letter dated 20/02/2012. Nos.51, 52, 48, 53, 63-69(odd) Blackburn Street, Radcliffe Swimming Pool Green Street, 25 Thomas Street, Radcliffe Civic Hall and St Thomas and St John's Church Blackburn Street.

One representation from the proprietor of 52 Blackburn Street, the former pharmacy whose concerns are as follows:

- As the intention is to change the health centre into a children's day centre, parking problems in streets around the site will arise particularly if on site parking is reduced.
- The pitched roof may interfere with telecom and internet lines.
- Reduction in light.

The objector has been notified of the Planning Control Committee.

Consultations

No consultations needed.

Unitary Development Plan and Policies

EN1/2 Townscape and Built Design

EN4/1 Renewable Energy

Issues and Analysis

Use - The applicant intends to establish a children's play centre on the site. As this use falls within the same D1 use class as the former health centre, planning permission for the change of use alone is not required.

Visual amenity - The existing building, with its flat roof is unsightly within the streetscape and is in need of a face lift. The new roof with its grey tiled profile, would improve the buildings appearance and give it a more conventional appearance on Blackburn Street. In

relation to visual amenity, the proposal complies with UDP Policy EN1/2 Townscape and Built Design.

Residential amenity - The nearest residential properties to the site are along New Church Street, about 80m away. The new roof is conventional in appearance and is not of a scale that would raise any residential amenity issues.

Objection - The issues relating to parking and possible interference with telecom and internet reception are not considered relevant to the proposal as the use of the site is not at issue. Given that the new roof would, for the most part, be lower than the adjacent building, it is not considered that TV/internet connection is a significant issue requiring any further action.

Reduction in light is a planning issue. Whilst the overall height of the building is increasing, it would not have an impact on the overall light levels into the neighbouring property given the separation distances.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason for granting permissions can be summarised as follows;-

The new roof would improve the appearance of the building on the streetscene without serious harm to the amenity of neighbours. Complies with UDP Policies listed. There are no other material considerations that outweigh this finding.

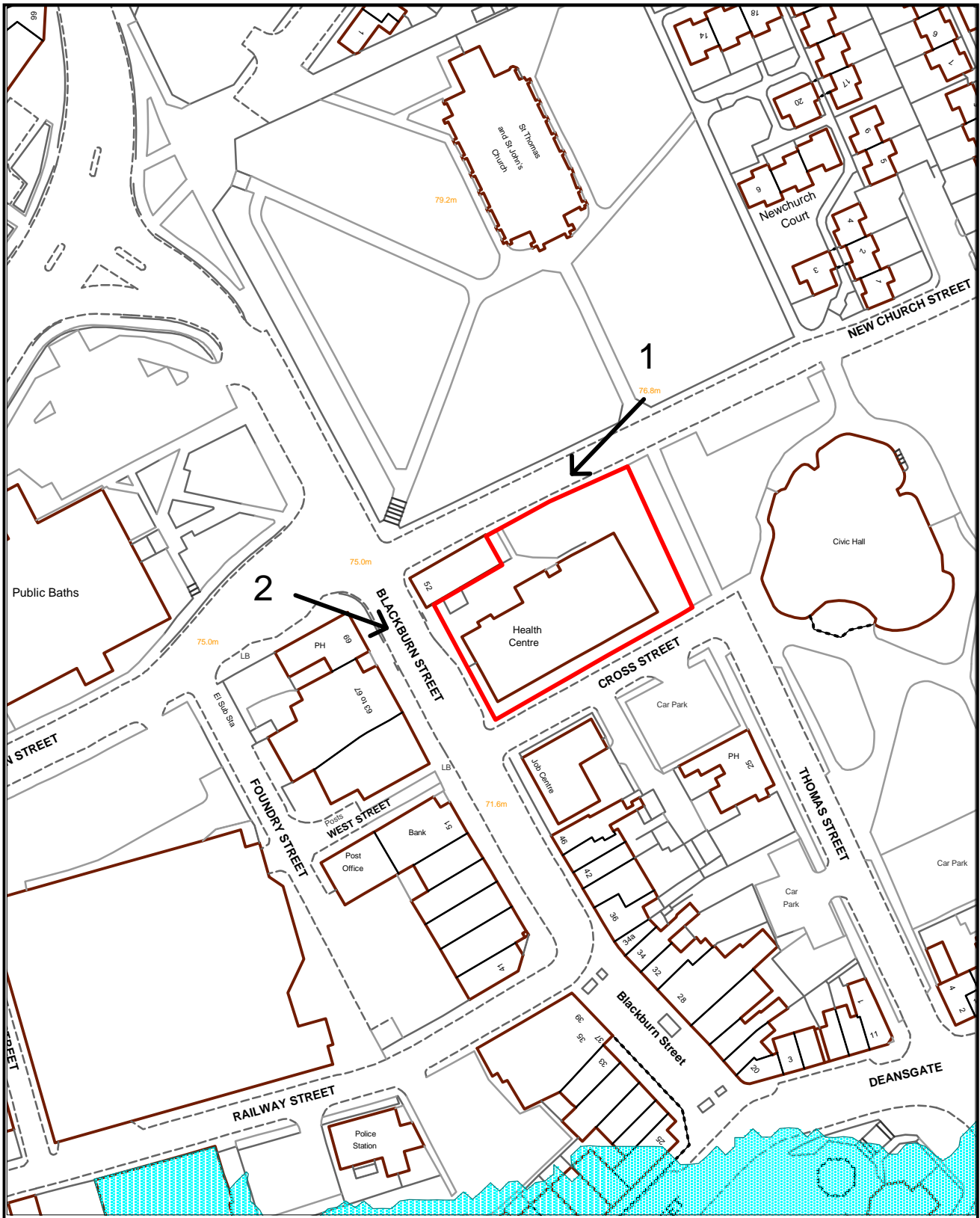
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 01/12/008-1, 2(revised) and 3 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The exact colour of the proposed roofing materials shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

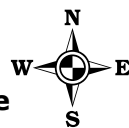
Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54865

**ADDRESS: Former Blackburn Street Health Centre
Radcliffe**



Planning, Environmental and Regulatory Services 1:1250

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54865

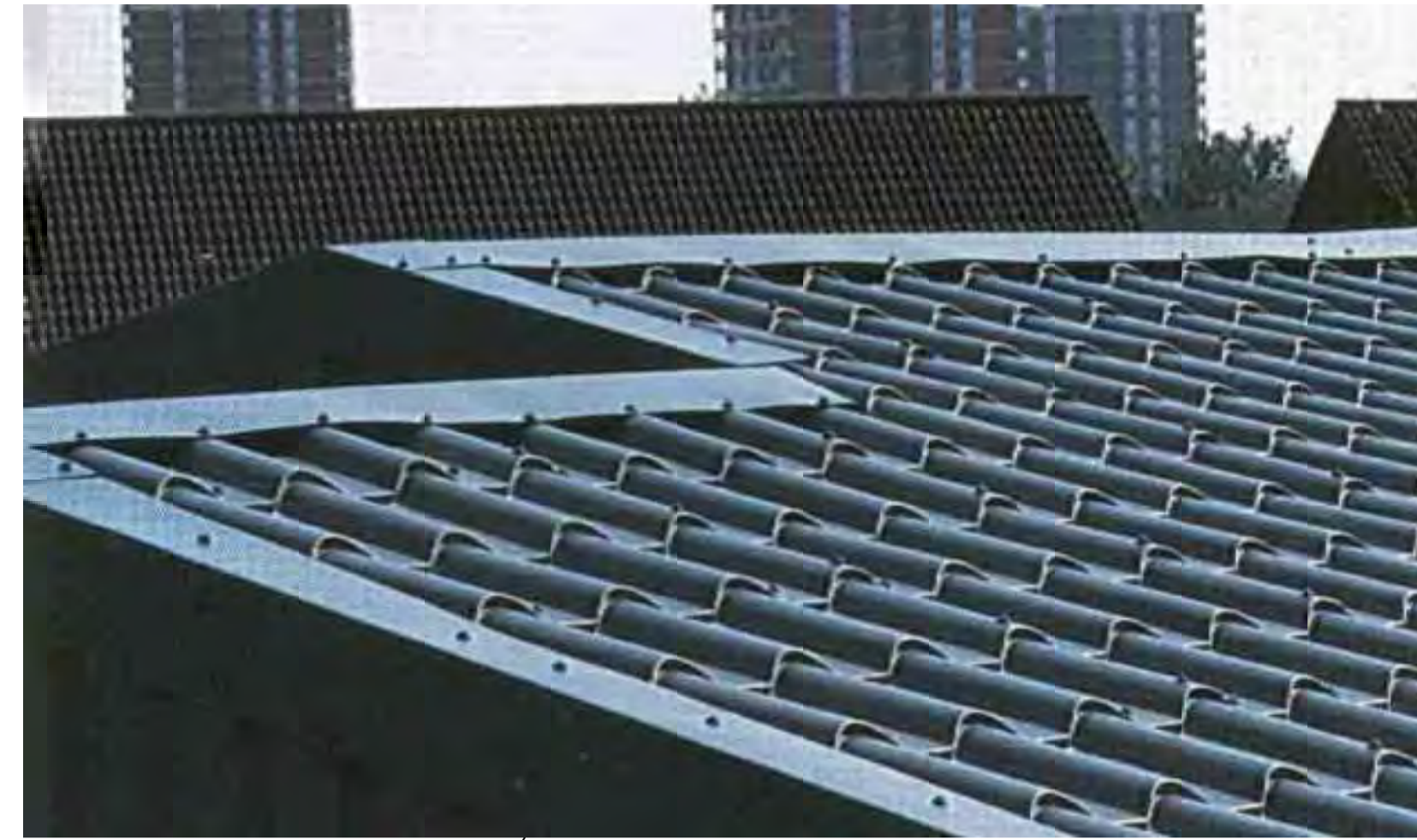
Photo 1



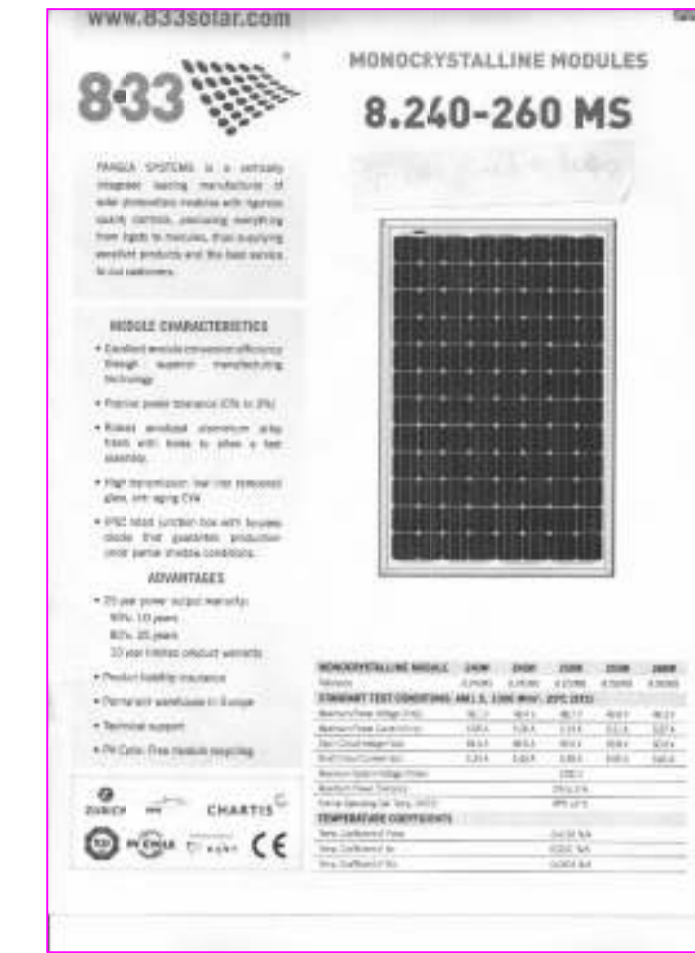
Photo 2



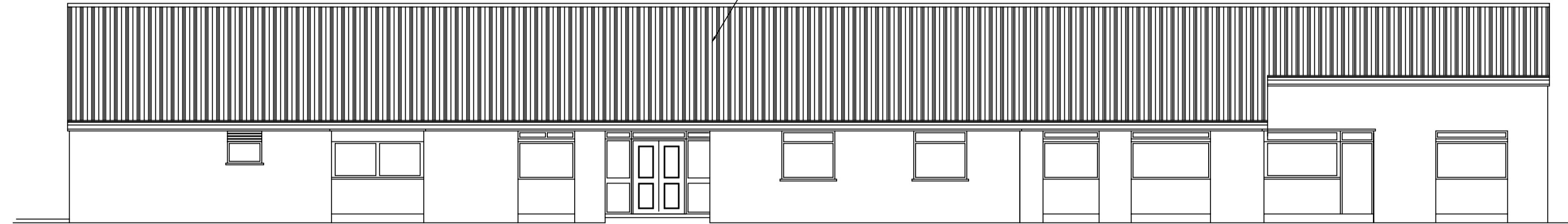
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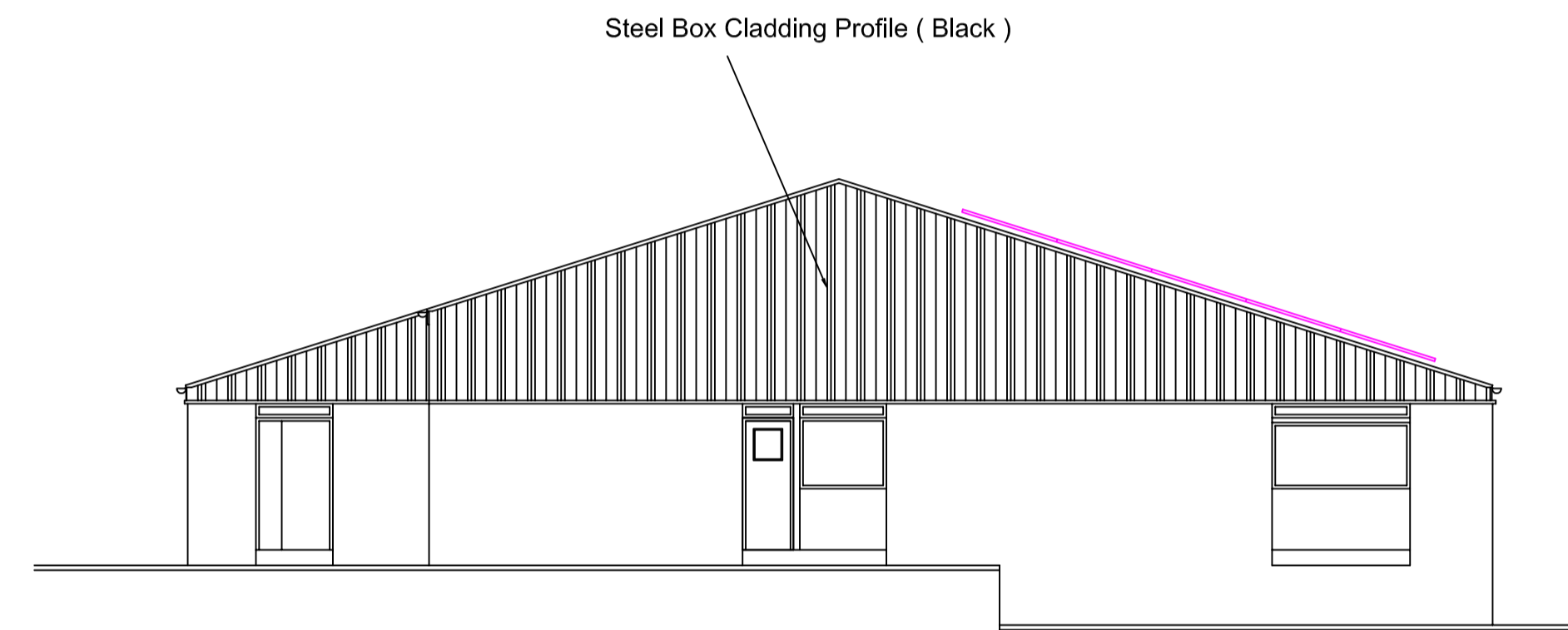
Heys-Shaw Versasteel Roof Tile Profile (Black)



192 Solar Panels

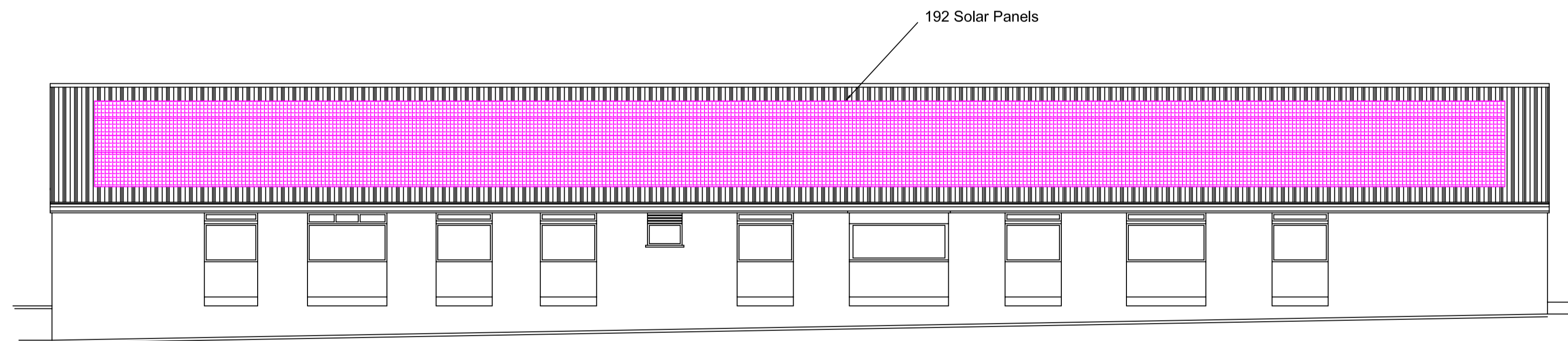


Proposed Front Elevation



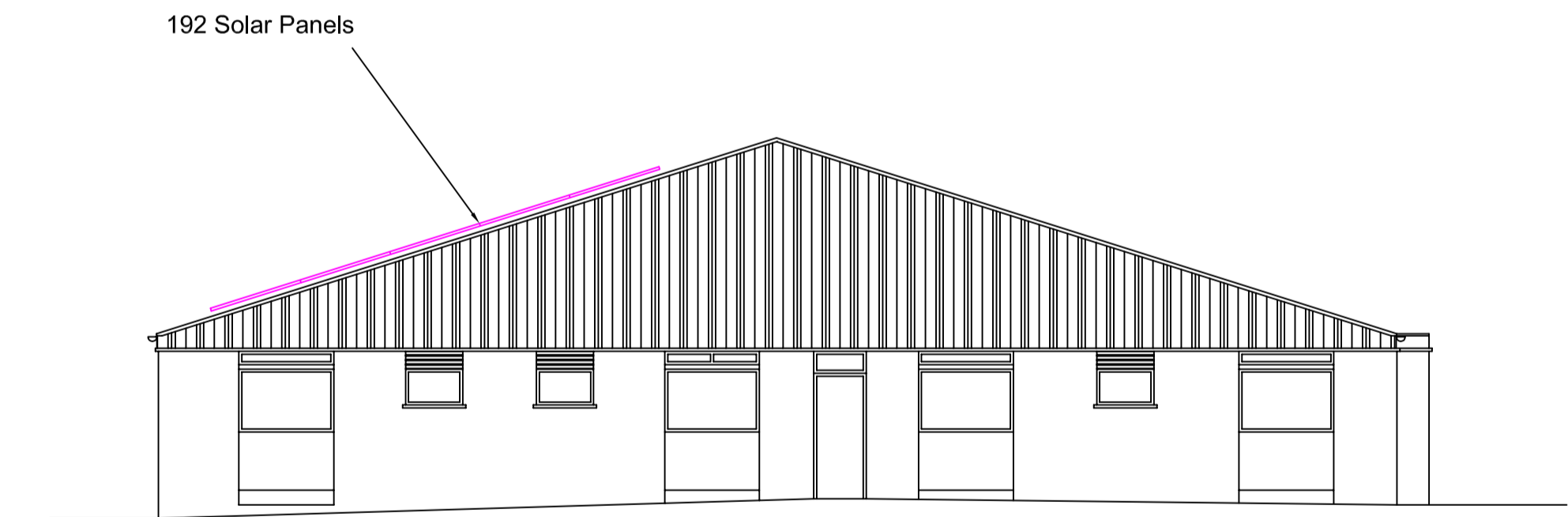
Steel Box Cladding Profile (Black)

Proposed Side Elevation



192 Solar Panels

Proposed Rear Elevation



192 Solar Panels

Proposed Side Elevation

Project Title :-			
New Pitched Roof			
Client :-			
kids zone Radcliffe			
Drwg No :-	Date :-	Rev :-	
01/12/008-2	2 OF 3	Jan'12	*
Scale :-	Drawn:-	Checked :-	
1:100	SCM	WMC	
Site Address :-			
Blackburn Street Radcliffe Lancashire M26 1WS			

14 Primrose Bank
Greenfield
Saddleworth
OL3 7JP
Tel: 01457 871202
wmshowa@aol.com
www.william-mccall.com

Ward: Radcliffe - East

Item 07

Applicant: Mr Azhar Mahmood

Location: 222-224 Dumers Lane, Radcliffe, Manchester, M26 2QJ

Proposal: Change of use (no. 222) from dwelling (Class C3) to shop (Class A1); Extension at rear and roller shutter door at rear; New shop front and boundary wall to front (resubmission)

Application Ref: 54875/Full

Target Date: 17/04/2012

Recommendation: Approve with Conditions

Description

The application site comprises two terraced properties in a predominantly residential area. No.224 is located at the end of the row and is a shop with the adjoining No.222 in residential use. There is a side street adjacent No.224, the shop, which leads round to a back street and the rear yards to the terraces.

The application seeks to expand the shop into the ground floor of No.222 with living accommodation above the two properties at first floor. A new shop front would be installed with a central entrance and with a traditional shop window on either side. The front garden to No.222 would be levelled and surfaced and a new boundary wall built to the sides and part of the frontage with railings to the top.

A single storey rear extension to No.222 is proposed and would project out 3m from the main two storey rear elevation. A further single storey extension 4.8m deep set 1.9m in from the side boundary would run to the end of the rear yard. This would provide an office and storage/garage with roller shutter door to the rear elevation.

Proposed opening hours for the extended shop would be:

6.30am - 10.30pm Monday to Friday

7.30am - 10.30pm Sunday and Bank Holidays.

Relevant Planning History

53589 - Change of use from dwelling (Class C3) to shop (Class A1) and new shop front; Extension at rear and roller shutter door at rear - Withdrawn 16/06/2011

45253 - Single storey extension at front - Refused 17/10/05

Publicity

25 notification letters were sent on 21/02/12 to addresses at 206-220, 226-234, 293-311 Dumers Lane and 1 & 3 Morris Street and a further 10 day notification letter sent on 26/03/12 regarding revisions to the boundary wall. 5 objections have been received from 214,216,218,220 & 226 Dumers Lane. Their concerns in summary are:-

- The rear extension projects beyond 3m of the rear of No.220 and encroaches across a 45 degree line from their habitable living room window.
- Loss of light to the outside space and principle windows to No.220 from the rear extension and front wall.
- The amended plans do not alter the impact of the design and operational nuisance to No.220 and their original objections still stand. The introduction of railings does not change the underlying issue that the proposed development is out of character and detrimental to the street scene.
- The flat roof of the extension is a security risk to the rear of No.220
- There is to be a refuse space in the back yard and there have been past issues with

- waste left to stack and not routinely removed
- The application is in direct contravention to UDP Policy S2/5 which states 'the establishment of shops in terraced properties adjoining residential accommodation will not normally be permitted'.
 - There are a number of retail outlets in the immediate area and demand is met adequately
 - Given the local and national crisis in affordable low cost housing converting residential property to commercial business property does not seem justified in an area swamped by retail outlets.
 - Existing nuisance from the shop from the sale of alcohol which extending the shop would further increase.
 - Litter would increase.
 - Parking and deliveries cause inconvenience and danger to local residents.
 - Deliveries will cause congestion and further damage to Back Durers Lane.
 - Back Durers Lane experiences huge volumes of traffic and there is danger to residents from speeding drivers.
 - There is existing parking congestion around the shop which will be increased.
 - Noise nuisance to No.220 from customers, deliveries and roller shutters.
 - The quality of existing building work to the shop is unsightly.
 - The applicant owns the Bridge Inn which is an eye sore and should be repaired and restored with the money he is spending on 222/224.
 - Property values may be reduced.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objection subject to a condition for the type of roller shutter for the ear garage.

Drainage Section - No comments received.

Environmental Health (Contaminated Land/ Air Quality) - No objection.

Environmental Health (Pollution Control) - No comments received.

Environment Agency - No objection. Informative for applicant to refer to Flood Risk Standing Advice.

GM Police - (designforsecurity) - No objection.

Baddac - No objection.

United Utilities (Water and Waste) - No objection.

Unitary Development Plan and Policies

S1/5	Neighbourhood Centres and Local Shops
HT5/1	Access For Those with Special Needs
EN1/8	Shop Fronts
HT5/1	Access For Those with Special Needs
EN7/2	Noise Pollution
SPD11	Parking Standards in Bury
EN1/2	Townscape and Built Design
SPD6	Supplementary Planning Document 6: Alterations & Extensions

Issues and Analysis

Principle - UDP Policy S1/5 - Neighbourhood Centres and Local Shops seeks to retain A1 retail as the predominant use in new and existing local shops and encourages essential convenience goods shops that caters for day to day needs of residents and businesses. The proposal would expand an existing shop whilst still maintaining a conservative amount of floorspace that would serve local needs and is therefore acceptable in principle and complies with Policy S1/5.

Visual amenity - Double fronted shop units are often seen within terraced rows of housing along main roads. The shop front is acceptable in terms of its design with a boundary wall and railings of a height and of materials in keeping with the area. The proposed external

shutters to the front are a brick bond type which will provide an 'open' appearance when the shop is closed. The flat roofed extension is located to the rear and the side/rear walls to be rendered in a colour to match the existing brickwork. The proposal would comply with UDP Policies EN1/2 - Townscape and Built Design and EN1/8 - Shop fronts.

Residential amenity - The rear extension would be 3m deep where along the boundary with the adjoining property at No.220. This would comply with standards within Supplementary Planning Document 6 (SPD6) which is guidance issued for domestic extensions to ensure that proposals do not result in an unacceptable loss of light or overshadowing. The additional 4.8m extension would be set 1.9m in from the boundary and flat roofed and as such would not have any significant impact on light to the property or its outside space.

The wall adjacent No.220 to the front would be to a height of 0.9m with a further 0.3m as railings. This would provide a secure boundary between the shop and adjoining neighbour where there are tall hedges at present.

A condition is recommended for the opening hours to be restricted to those proposed to maintain a good degree of residential amenity.

Parking and Access - SPD11 - Parking Standards gives no maximum requirement for this type of use and states that parking for smaller developments, assumed to be more local in nature, that are accessible by other modes could have reduced levels of parking and each proposal will be considered on its own merits. There are no parking restrictions to the front and on-street parking available along Dumers Lane and side streets. The area is predominantly residential and the type of shop is one that could reasonably be expected to have a large number of visitors on foot.

The shop front forecourt area is to be levelled and a handrail and ramp provided which will allow access for disabled customers and comply with UDP Policy HT5/1 - Access For Those With Special Needs.

Servicing - Deliveries to the front would be unaffected and the storage area to the rear would be accessible from the opening with the new roller shutter with available parking along the side of the shop. A gated yard at the rear provides an area for refuse.

Response to objections - Concerns regarding parking are addressed in the above report. The 45 degree line referred to is within SPD6 and used as an assessment to avoid loss of light and unacceptable levels of overshadowing. It does not need to be applied in this case as the proposed extension would not project more than 3m from the rear of No.220.

Flat roofed extensions and outbuildings are not uncommon to the rear of properties and there would be no grounds to refuse the application on a security risk. It is noted that there is no objection from the Police.

The ground floor of No.222 would be a loss of a residential use. However it would be retained at first floor.

UDP Policy S2/5 relates to proposals for new shops. This change of use is related to an existing business and therefore subject to UDP Policy S1/5 as covered in the above report. The fact that the shop is an existing business which seeks to expand suggests that there is a need.

Whilst it is accepted that a shop may generate more noise than a residential use conditions are recommended for soundproofing and opening hours. There are separate regulations aside of the planning process that would deal with noise nuisance, anti social behaviour and waste removal.

The external alterations would improve the appearance of the building however the quality

of the existing building work is not assessed as part of this application.

Other premises that may be owned by the applicant are not relevant to this application. Property value is not a planning matter.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason for granting permissions can be summarised as follows:-

The proposal would not have any detrimental impact on the street scene or the amenity of any residents and has taken appropriate measures to consider disabled access. The scheme will not adversely impact on highway safety issues and would comply with UDP policies listed. There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered SHT 1 Issue 1, SHT 2 Issue 3, SHT 3 Issue 3 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The premises shall not be open to customers outside the following times: 0630 - 2230hrs Monday to Saturday and 0730 - 2230hrs Sundays and Bank Holidays.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policy S1/5 - Neighbourhood Centres and Local Shops of the Bury Unitary Development Plan.
4. Details/Samples of the brick bond roller shutters to the shop front shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved roller shutters shall be used in the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
5. Details/Samples of the railings to be used along the front boundary wall shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved railings shall be used in the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
6. The first floor shall be used for residential purposes only as shown on the approved plan and for no business use.
Reason. For the avoidance of doubt and pursuant to the UDP Policies of the Bury Unitary Development Plan listed.
7. No development shall take place unless and until a scheme to soundproof the ground and first floor party walls between 222 and 220 Dumers Lane, which shall be in accordance with standards of construction specified in current Building Regulations, has been submitted to and approved by the Local Planning Authority.

Such works that form the approved scheme shall be completed before the development is brought into use.

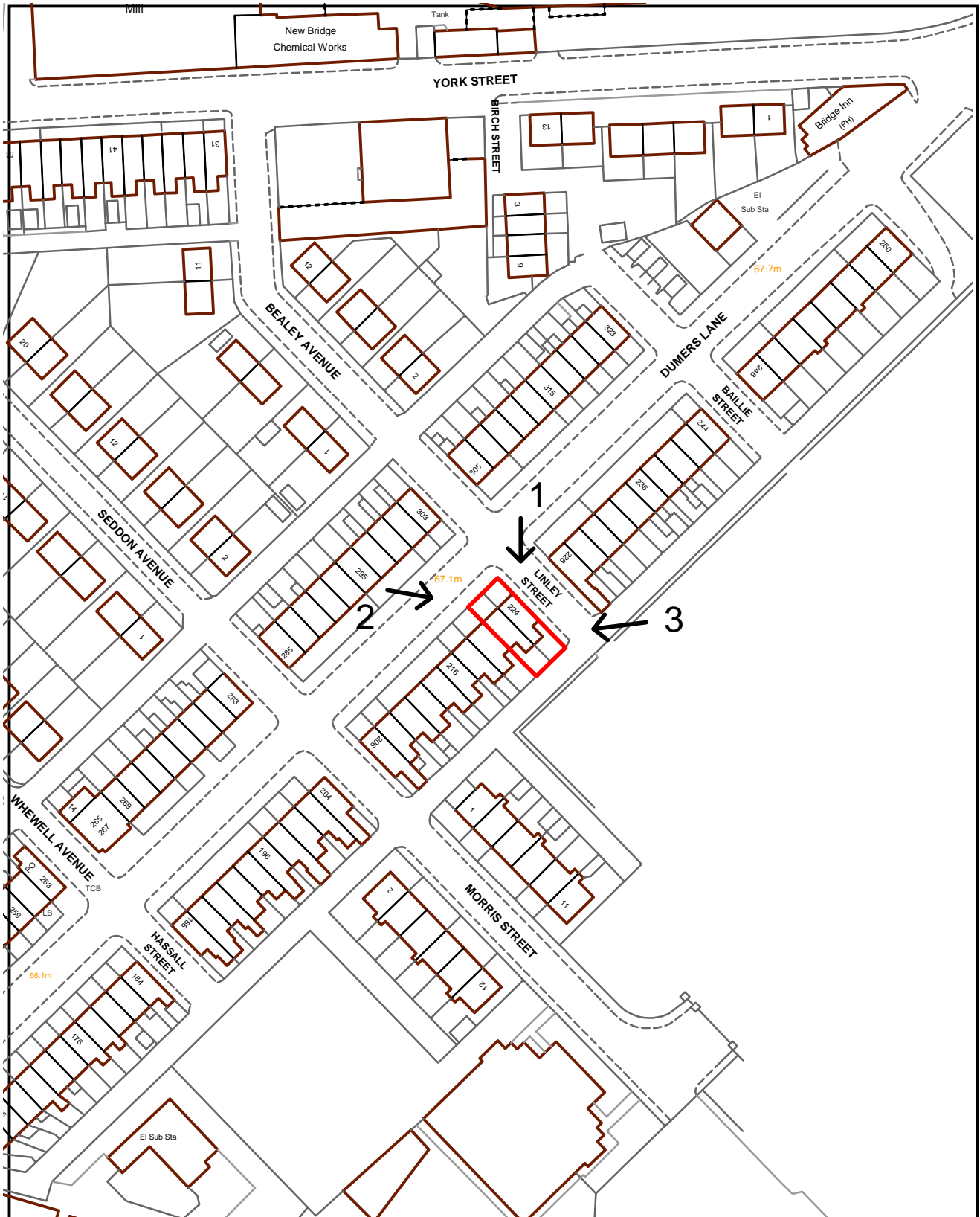
Reason: To protect the residential amenities pursuant Bury UDP Policy EN7/2 - Noise Pollution.

8. The rear store shall be fitted with a reveal fixed roller shutter door as indicated on the approved roller shutter detail which does not project outwards at any time during or after operation to the written satisfaction of the Local Planning Authority and shall thereafter be maintained.

Reason. To ensure compliance with the requirements of Section 153 of the Highways Act 1980 which prohibits the opening of doors, gates or bars outwards onto the street.

For further information on the application please contact **Jane Langan** on **0161 253 5316**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54875

**ADDRESS: 222-224 Dumers Lane
Radcliffe**



Planning, Environmental and Regulatory Services 1:1250

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54785

Photo 1

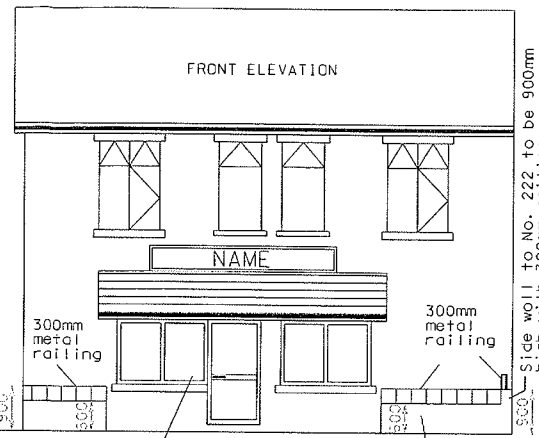
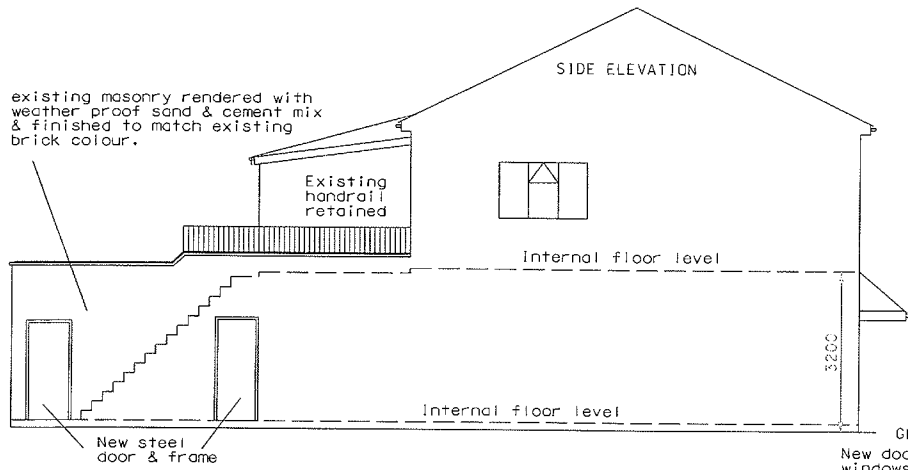


Photo 2



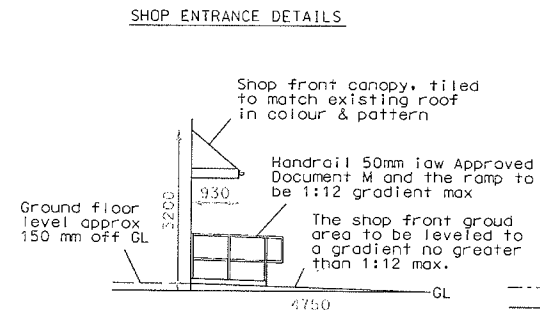
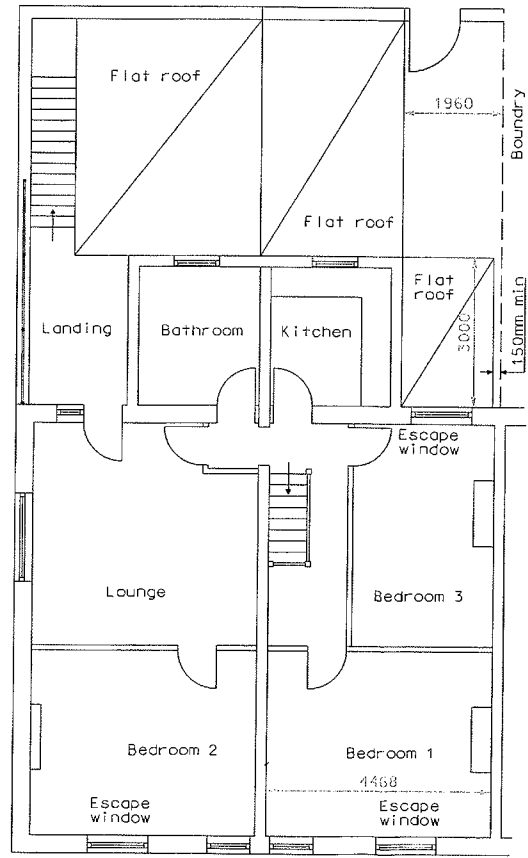
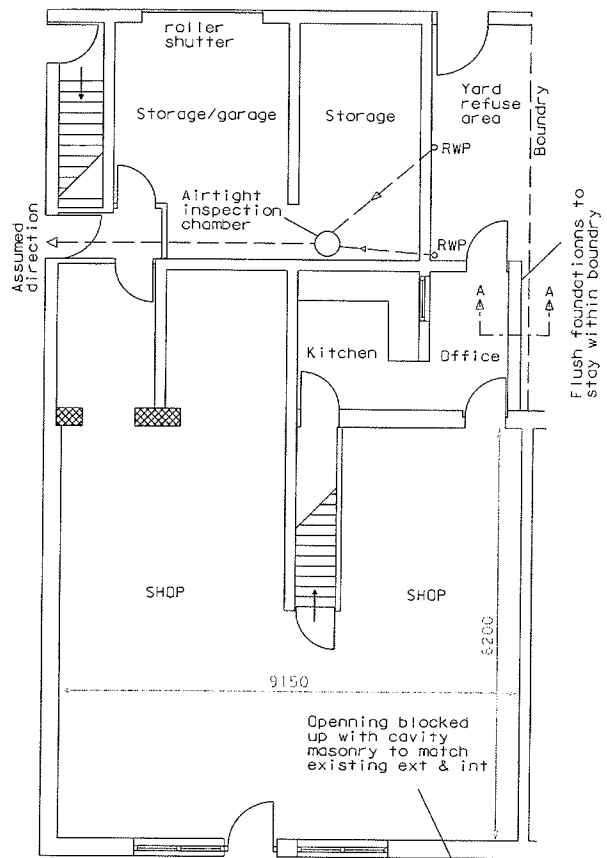
Photo 3



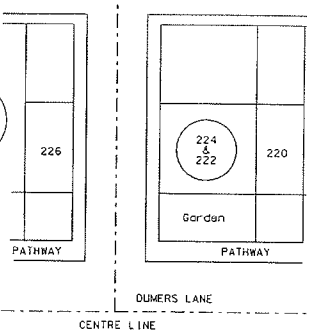


Side wall to No. 222 to be 900mm high with 300mm railings

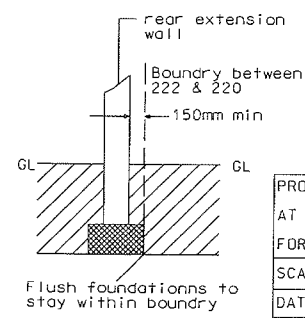
New masonry rendered with weather proof sand & cement mix & finished to match existing brick colour.



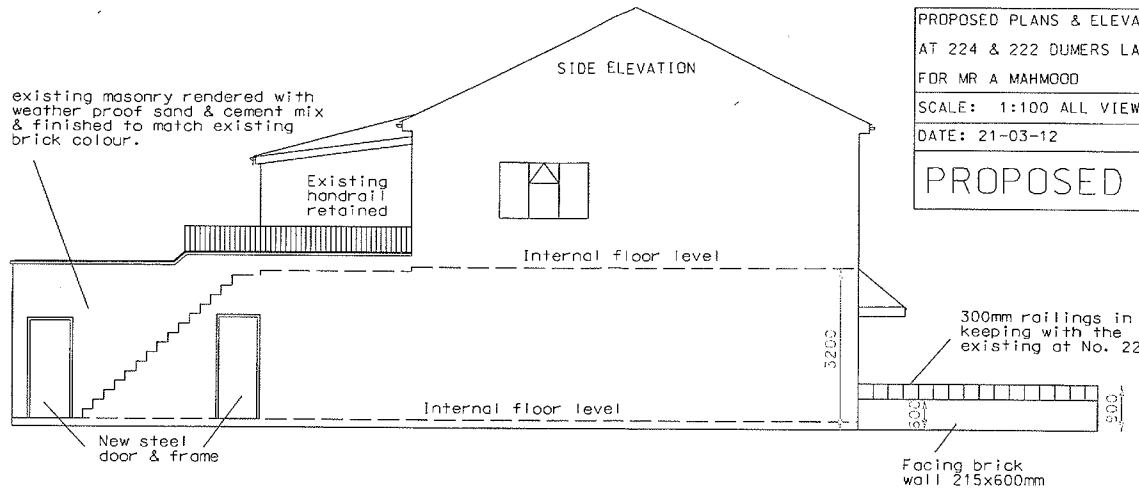
BLOCK PLAN
Scale 1:500



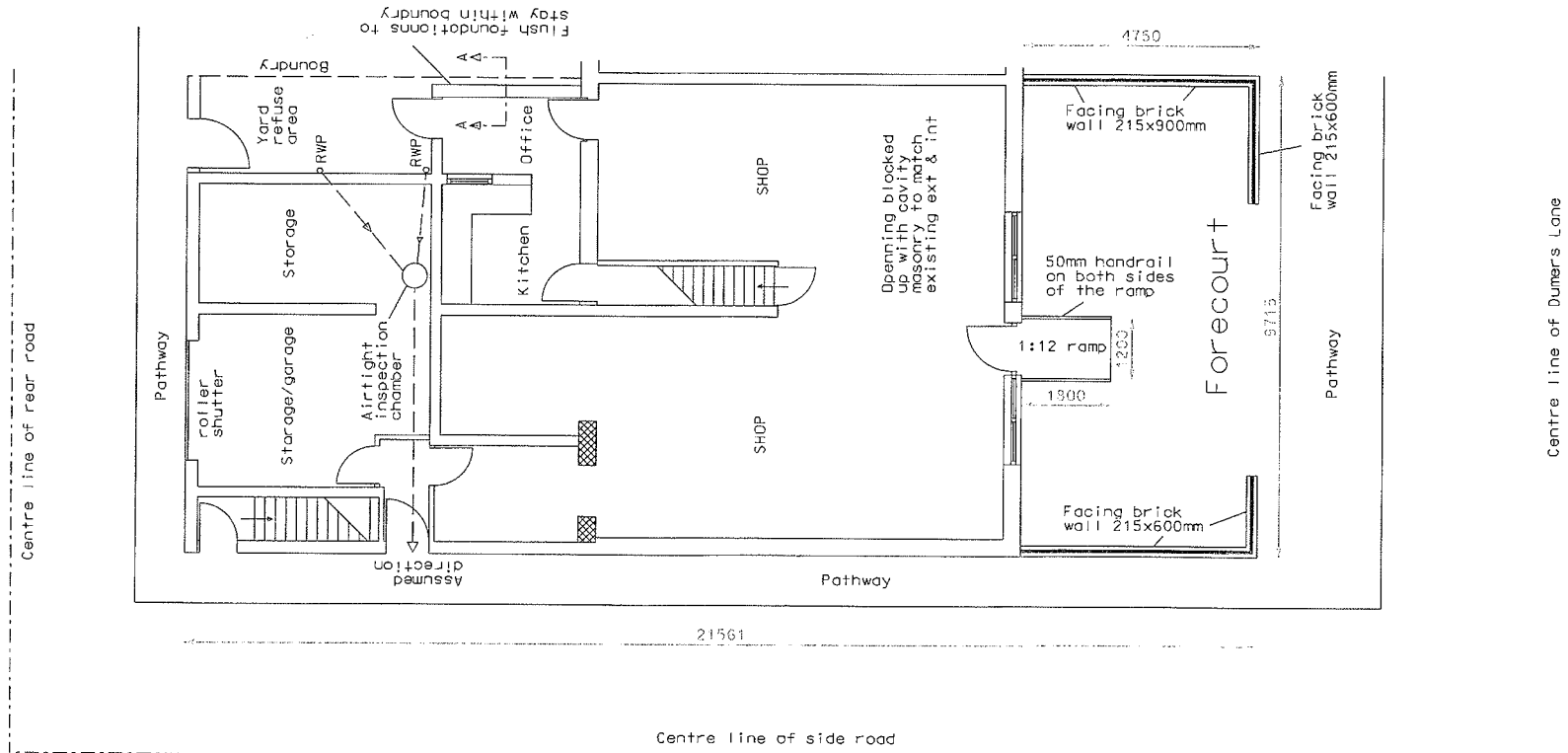
SECTION "AA" DETAILS



PROPOSED PLANS & ELEVATIONS:	
AT 224 & 222 DUMERS LANE, BURY, LANCS. M26 20J	
FOR MR A MAHMOOD	
SCALE: 1:100 ALL VIEWS	ALL DIMENSIONS IN MM
DATE: 21-03-12	PC/AM/04/04/11 Issue 3
PROPOSED	SHT 2



PROPOSED PLANS & ELEVATIONS:	
AT 224 & 222 DUMERS LANE, BURY, LANCS, M26 2QJ	
FOR MR A MAHMOOD	
SCALE: 1:100 ALL VIEWS	ALL DIMENSIONS IN MM
DATE: 21-03-12	PC/AM/04/04/11 Issue 3
PROPOSED	
SHT 3	



Ward: Bury East

Item 08

Applicant: Indigo Contractor Services Ltd

Location: Hilton House, Irwell Street, Bury, BL9 0HZ

Proposal: Change of use from offices (Class B1) to medical consulting rooms (Class D1)

Application Ref: 54898/Full

Target Date: 24/04/2012

Recommendation: Approve with Conditions

Description

The application site comprises an three storey office block (362sqm) and enclosed car park (13 spaces) within Bury town centre fronting Irwell Street, close its junction with Bolton Street. Castle Leisure Centre and a public car park is located to the rear/ east. Immediately to the north is a small landscaped area of public space and to the south, on Irwell Street is Manna House, the Christian Fellowship building. Across Irwell Street to the west is a row of terraced houses. Irwell Street has double yellow lines down one side and residents only parking between 8am and 6pm on the other. The building is vacant and was last used as offices in July last year. The previous tenants included the Council's Social Services Early Years team.

The application proposes to change the use to a private medical consulting facility. No external alterations are proposed to the building. The facility would receive the public who would be admitted via steps or ramp into the reception on the ground floor. There would be 6 consulting rooms on the ground and first floors with office and administrative functions on the second floor. The rooms in the roof space would provide for the storage of files. It is proposed that the car park at the front be marked out and include two disabled spaces.

The applicant's business currently has 3 staff at their base in Rossendale and the move to Hilton House would increase employment to 8 once fully operational. The applicant intends to offer a private primary care facility although with the increase in NHS partnering schemes, there may be a small proportion of NHS related work.

Opening hours would be:

7am to 10pm Monday to Friday

9am to 6pm Saturday

10am to 4pm Sunday.

The applicant has stated that these hours are similar to the NHS Walk-in centres and Castle Leisure Centre.

Relevant Planning History

25396/90 - Offices and parking - Approved 11/03/91

Publicity

The following 8 properties were notified by letter dated 28/02/2012. Numbers 2 - 12 (evs) and 27 Irwell Street and Manna House on Irwell Street.

Two representations from residents at Nos.10 and 12 (and on behalf of 14 Irwell Street) whose concerns are summarised:

- The proposal would increase parking problems along Irwell Street.
- The proposed car park isn't big enough to cater for employees and patients.
- Concerns that the facility would include drug and alcohol related patients.
- Not enough residents on Irwell Street were notified.

The objectors have been notified of the Planning Control Committee.

Consultations

Environmental Health - No comments.

Baddac - No objection.

designforsecurity - No comment.

Unitary Development Plan and Policies

Area	Bolton Street/Market Place
BY3	
EC5/1	Office Development in Bury Town Centre
EC4/1	Small Businesses
CF4	Healthcare Facilities
HT5/1	Access For Those with Special Needs
HT2/4	Car Parking and New Development
EN1/2	Townscape and Built Design
SPD11	Parking Standards in Bury
CF1/1	Location of New Community Facilities
H3/1	Assessing Non-Conforming Uses

Issues and Analysis

Policy - As an office building within Bury Town Centre, there are three main land use policies relevant to the proposal:

Policy EC5/1/4 identified the site as suitable for office development and EC2/2 Employment and Premises Outside Employment Generating Areas seeks to protect employment use within such premises.

Policy BY3 Bolton Street/Market Place identifies the area where the Council would encourage proposals for cultural, leisure and tourism, shopping and business and car parking uses.

Given its central and highly accessible location and what is an extended period of vacancy, the change of use of the building to a new medical facility is considered to be acceptable in principle.

Parking and Access - Given the highly accessible nature of the site, the existing on-site car park and the off-street public parking around the site, it is not considered that the proposal would cause serious parking problems to the residents across Irwell Street. Whilst the 'residents only' scheme, in force along one side of Irwell Street extends up to 6pm, the parking within the nearby town centre car parks, in particular Irwell Street Car Park directly behind the site are also free after 6pm. The proposal is considered to be acceptable and complies with UDP Policies HT2/4 Car Parking and New Development, CF1/1 Location of New Community Facilities and guidance on parking contained within SPD11 - Parking Standards in Bury.

Residential Amenity - The impact of the proposed medical centre on residential amenity would not be so different to the existing offices during the day. The general activity outside the normal office hours, to 10pm, whilst being noticeable, would not have a serious impact on amenity given its backdrop of general activity within what is a town centre location and close to Bolton Street. The proposal is considered to be acceptable and complies with UDP Policy H3/1– Assessing Non-Conforming Uses.

Objections - The concerns of the residents along Irwell Street with regard to parking have been addressed in 'Parking and Access' above. Whilst it cannot be ruled out that the facility would deal with the occasional patient with drug or alcohol problems, this is not the centre's primary function. It is considered that sufficient residents were notified of the application. It is noted that the applicant posted further information about the proposal to the residents

along Irwell Street in response to initial concerns.

Given the nature of the proposal and its town centre location, the new medical facility is considered to be acceptable and complies with UDP Policy.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

The proposed change of use is considered acceptable in that it would bring the vacant building back into use whilst not having a seriously detrimental impact on visual or residential amenity, traffic. The proposal complies with UDP Policies listed. There are no other material considerations that outweigh this finding.

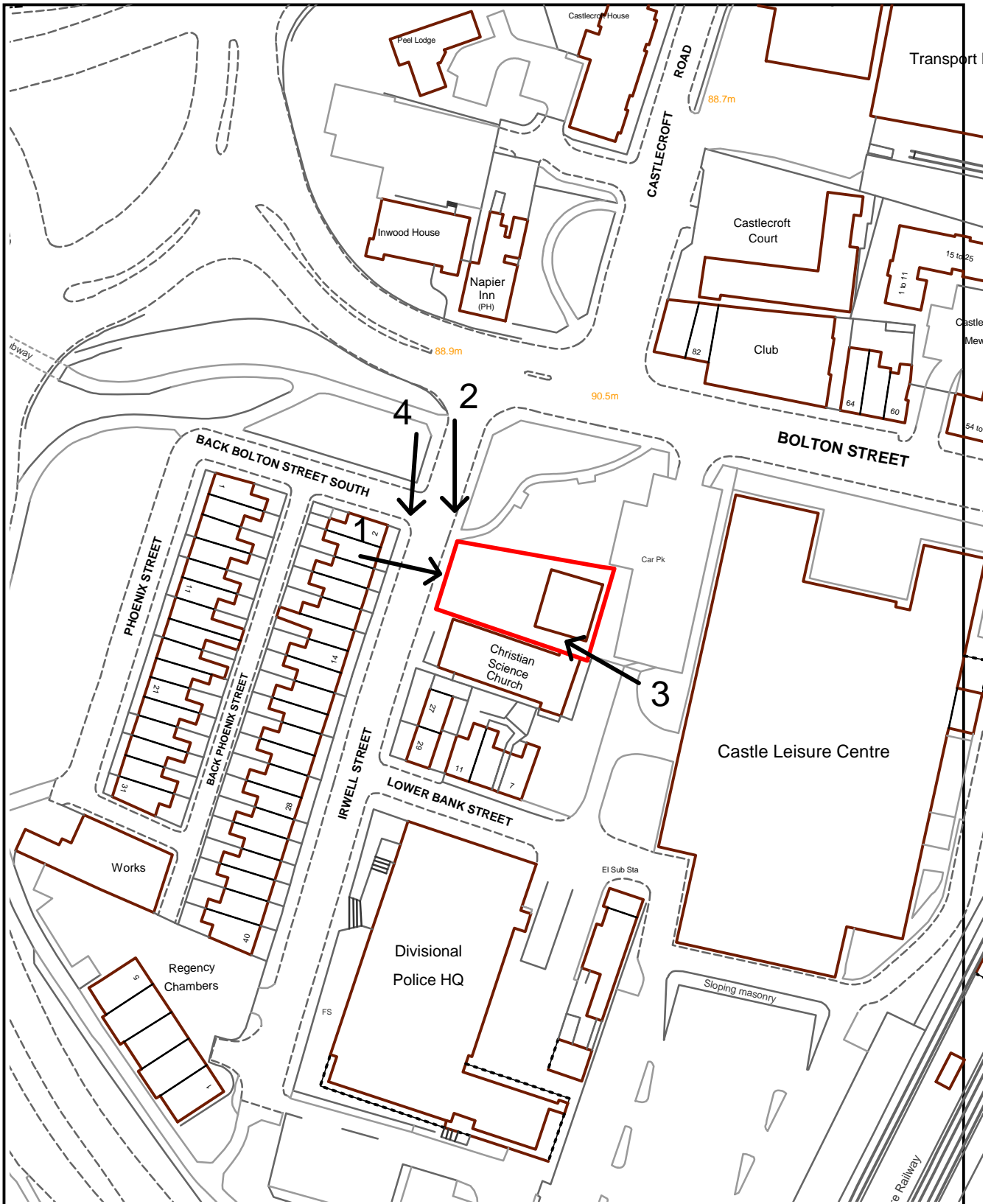
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 0.01, 0.02, 1.01/A, 1.02/A, 1.03/A, 2.01/B, 2.02/B, 2.03/B and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to policies of the Bury Unitary Development Plan listed below.
3. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the use hereby approved first commencing.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
4. All work or other activity shall take place on the site shall be confined to the following hours:-
0700 hrs to 2200 hrs, Monday to Friday.
0900 hrs to 1800 hrs Saturday
1000 hrs to 1600 hrs Sunday and Bank Holidays
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies, EC4/1 – Small Businesses, H3/1– Assessing Non-Conforming Uses of the Bury Unitary Development Plan.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54898

**ADDRESS: Hilton House
Irwell Street, Bury**

Planning, Environmental and Regulatory Services 1:1250

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54898

Photo 1



Photo 2



Photo 3



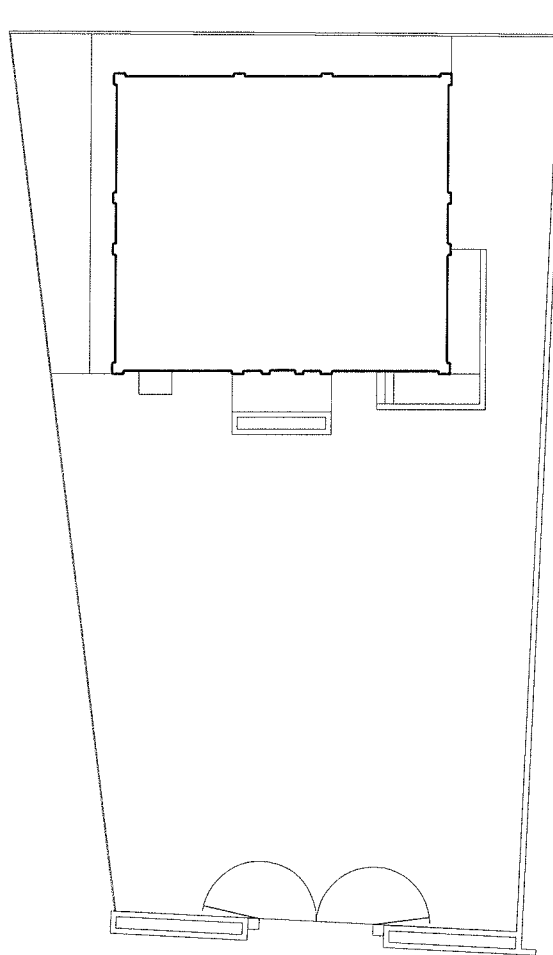
Photo 4



A3 Size

FOR PLANNING PURPOSES ONLY. SUBJECT TO SITE SURVEY AND ALL NECESSARY CONSENTS. ALL DIMENSIONS TO BE CHECKED BY USER AND ANY DISCREPANCIES, ERRORS OR OMISSIONS TO BE REPORTED TO THE ARCHITECT BEFORE THE WORK COMMENCES. THIS DRAWING IS TO BE READ WITH ALL OTHER RELEVANT MATERIALS.

Revision	Notes	Date	Drawn
A	'Draft' note removed	24.02.12	ZB



Existing Site Plan



Fuzed A+D Ltd, 74A Water Street, Radcliffe, Manchester, M26 4DF • Tel/Fax: 0161 724 8006 • Email: fuzed@ulktalk.net

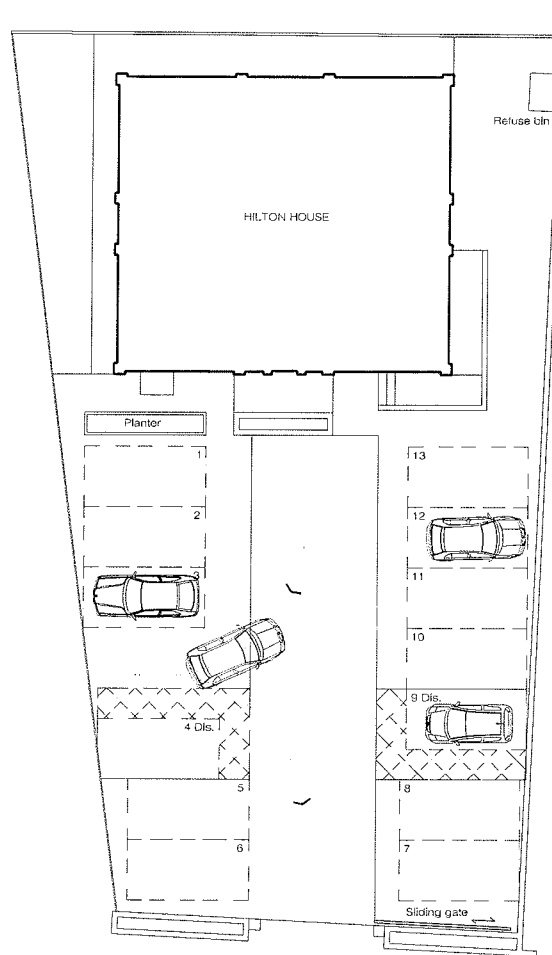
Project: Hilketon House, Bury
Client: Indigo GP Locums
Consent: Existing Plans

Scale	Drawn	Checked	Date	Contract No.	Dwg No.	Rev
1:200 @ A3	PD	-	Feb '12	1082	1.01	A

A3 Size

FOR PLANNING PURPOSES ONLY. SUBJECT TO SITE SURVEY AND ALL NECESSARY CONSENTS. ALL DIMENSIONS TO BE CHECKED BY USER AND ANY DISCREPANCIES, ERRORS OR OMISSIONS TO BE REPORTED TO THE ARCHITECT BEFORE THE WORK COMMENCES. THIS DRAWING IS TO BE READ WITH ALL OTHER RELEVANT MATERIALS.

Revision	Notes	Date	Drawn
A	Amended in accordance with client and BCO comment	20.2.12	PD
B	'Draft' title removed and refuse storage area indicated	24.2.12	ZB



Proposed Site Plan

**FA
+D**

Fuzed A+D Ltd, 74A Water Street, Radcliffe, Manchester, M26 4DF • Tel/Fax: 0161 724 8006 • Email: fuzed@talktalk.net

Project Hililton House, Bury

Client Indigo GP Locums

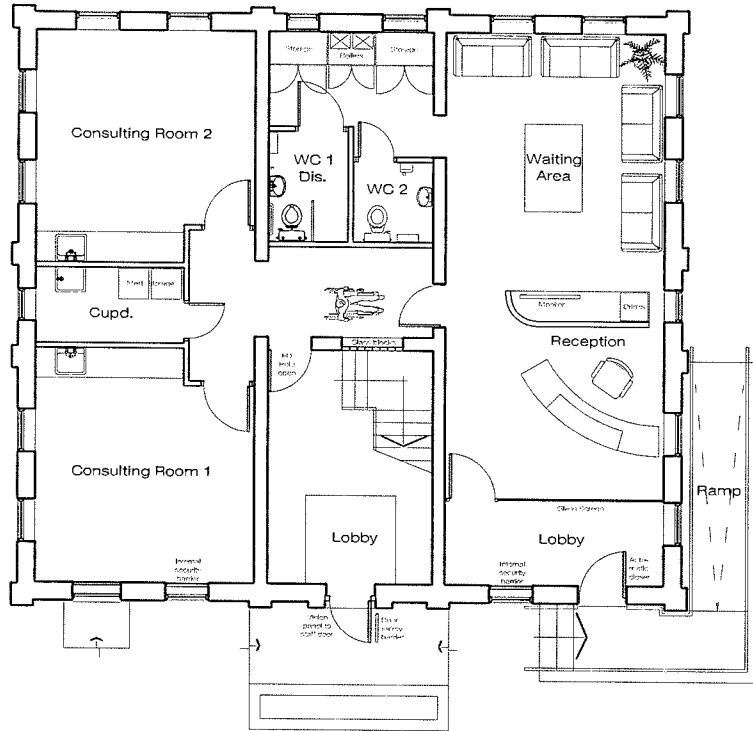
Contract Proposed Plans

Scale	Drawn	Checked	Date	Contract No.	Dwg No.	Rev
1:200 @ A3	PD	-	Feb '12	1082	2.01	B

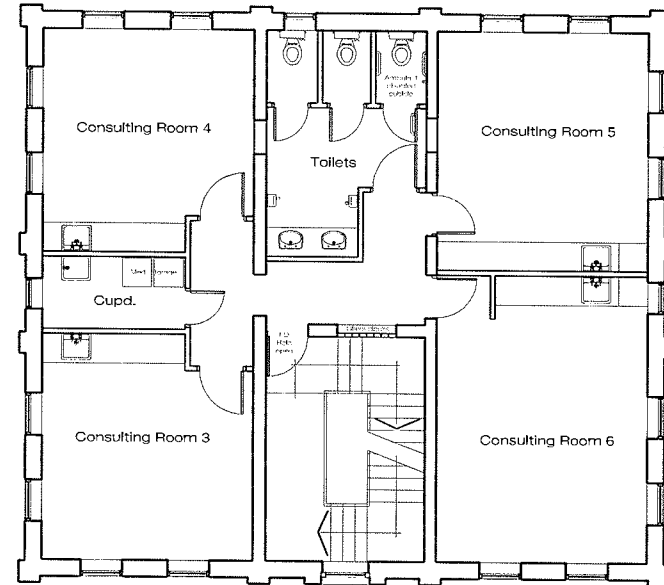
A3 Size

FOR PLANNING PURPOSES ONLY. SUBJECT TO SITE SURVEY AND ALL NECESSARY CONSENTS. ALL DIMENSIONS TO BE CHECKED BY USER AND ANY DISCREPANCIES, ERRORS OR OMISSIONS TO BE REPORTED TO THE ARCHITECT BEFORE THE WORK COMMENCES. THIS DRAWING IS TO BE READ WITH ALL OTHER RELEVANT MATERIALS.

Revision	Notes	Date	Drawn
A	Amended in accordance with client and BCO comment	20.2.12	PD
B	'Draft' note removed	24.2.12	ZB



Proposed Ground Floor Plan



Proposed First Floor Plan



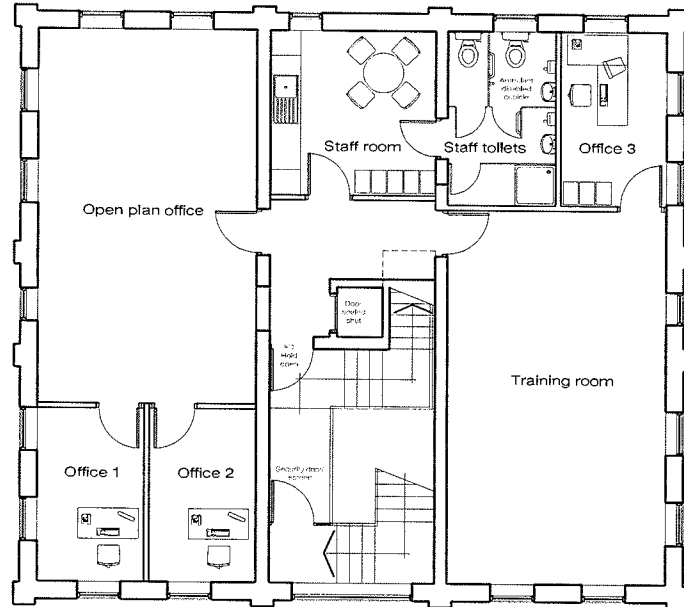
Fuzed A+D Ltd. 74A Water Street, Radcliffe, Manchester, M26 4DF - Tel/Fax: 0161 724 8006 - Email: fuzed@talktalk.net
 Project: Hillton House, Bury
 Client: Indigo GP Locums
 Content: Proposed Plans

Scale	Drawn	Checked	Date	Contract No.	Dwg No.	Rev
1:100 @ A3	PD	-	Feb '12	1082	2.02	B

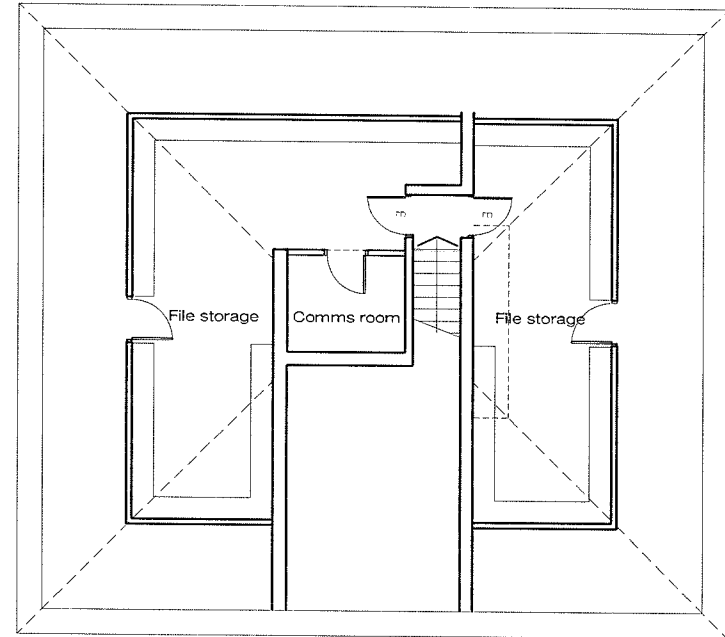
A3 Size

FOR PLANNING PURPOSES ONLY. SUBJECT TO SITE SURVEY AND ALL NECESSARY CONSENTS. ALL DIMENSIONS TO BE CHECKED BY USER AND ANY DISCREPANCIES, ERRORS OR OMISSIONS TO BE REPORTED TO THE ARCHITECT BEFORE THE WORK COMMENCES. THIS DRAWING IS TO BE READ WITH ALL OTHER RELEVANT MATERIALS.

Revision	Notes	Date	Drawn
A	Amended in accordance with client and BCO comment	20.2.12	PD
B	'Draft' note removed	24.2.12	ZB



Proposed Second Floor Plan



Proposed Third Floor Plan
[NB: STORAGE ONLY]



Fuzed A+D Ltd, 76A Water Street, Redcliffe, Manchester, M20 4DF • Tel/Fax: 0161 724 8006 • Email: fuzed@talktalk.net

Project: Hilston House, Bury
 Client: Indigo GP Locums
 Content: Proposed Plans

Scale	Drawn	Checked	Date	Contract No.	Dwg No.	Rev
1:100 @ A3	PD	-	Feb '12	1082	2.03	B

Ward: Radcliffe - East

Item 09

Applicant: BURY GRAPHICS

Location: Bury Street Mill, Bury Street, Radcliffe, Manchester, M26 2GB

Proposal: REFURBISHMENT AND ALTERATION OF DERELICT FORMER ENGINEERING WORKSHOP AND STORE (RESUBMISSION OF 54133)

Application Ref: 54910/Full

Target Date: 25/04/2012

Recommendation: Approve with Conditions

Description

There is an existing building, which was previously in use as an engineering workshop (Class B2). There are 2 yard areas - one to the east and a smaller yard to the south. The site is accessed from a narrow unmade road, which also serves the nearby residential properties.

Radcliffe Close Methodist School is located to the north and west, with the church beyond. There is a childrens centre to the south and residential properties to the south and southeast. Bealey hospital (Bury hospice) is located to the north east.

The applicant seeks permission for a number of alterations to the building:

- The replacement of the roofing structure from slate to a metal tiled roof;
- Rendering the external walls;
- Installation of 2 roller shutter doors in the southern and eastern elevations;
- External alterations to doors and windows;
- Installation of a balcony on the southern elevation and a juliet balcony to the eastern;
- the provision of 5 parking spaces.

Works on the building have already commenced and as such, the application is partially retrospective.

Relevant Planning History

43608 - Outline planning application - residential development - 1 no. dwelling at Bury Street Mill, Bury Street, Radcliffe. Withdrawn - 20 November 2004

46190 - Outline application for erection of 1 no. dwelling at Bury Street Mill, Bury Street, Radcliffe. Refused - 4 July 2006

54133 - Refurbishment and alteration of derelict former engineering workshop and store at Bury Street Mill, Bury Street, Radcliffe. Refused - 22 August 2011

Adjacent site

48224 - Single storey building and associated site works for child and family care support at Radcliffe Hall C of E Methodist Primary School, Bury Street, Radcliffe. Approved with conditions - 18 October 2007

Publicity

9 neighbouring properties (47 - 53, Radcliffe Close Methodist School, Radcliffe Close Nursery, The Close Methodist Church, Bury Street; Bealey Hospital/Bury Hospice, Dumers Lane) were notified by means of a letter on 1 March 2012.

1 letter has been received from the occupiers of 47 Bury Street, which has raised the following issues:

- Object to the balconies as these would overlook the nearby residential properties.
- Impact of noise on the amenity of the neighbouring properties.
- The access to the mill is a narrow street, which is unsuitable for more traffic.
- Existing residents have called Environmental Health Section in connection with the noise levels
- The applicant has stated that a grinder would be used on site, which would be very noisy.

The objector has been notified of the Planning Control Committee.

Consultations

Environmental Health - Contaminated Land - No objections, subject to the inclusion of standard conditions relating to contaminated land.

Wildlife Officer - Require an updated bat assessment prior to determination.

Baddac - Welcome disabled parking space and disabled toilet provision.

Unitary Development Plan and Policies

EC2/2	Employment Land and Premises
EC3/1	Measures to Improve Industrial Areas
EC4/1	Small Businesses
EC6/1	New Business, Industrial and Commercial
EN1/2	Townscape and Built Design
EN5/1	New Development and Flood Risk
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

Impact upon residential amenity - The proposed development would replace a first floor window with a patio doors and a juliet balcony. The proposed patio doors would be in the same position as the existing opening and as such, would not have any greater an impact upon the amenity of the neighbouring properties than the existing window.

The proposed balcony would be located in the southern elevation and there would be 18.5 metres between the proposed balcony and the existing window in the rear elevation of the nearest residential dwelling. Given the oblique angle between the two openings, it is considered that the proposed development would not have a significant adverse impact upon the amenity of the neighbouring residents. There are no openings in the elevation of the children's centre building, which is located to the south of the application site. Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties and would be in accordance with Policy EN1/2 of the adopted Unitary Development Plan.

Design - The design of the openings and roller shutter doors has been amended following the previous refusal. The existing openings were evenly spaced along the building and this has been retained. The proposed development would replace two of these openings in the southern elevation with patio doors and a roller shutter door. The proposed roller shutter has been reduced in width and as such, would now be in proportion. A juliet balcony and roller shutter door would be located centrally in the eastern elevation and would not detract from the character of the building. Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policy EN1/2 of the adopted Unitary Development Plan.

Bats - A bat survey was submitted with the application. As the survey is 6 years old, a more

recent survey is required. This is being undertaken and will be reported in the supplementary report.

Highways issues - The proposed development would use the same access that served the building previously and as the proposed development does not involve any extensions, there would not be an intensification of this access. Therefore, the proposed development would not be detrimental to highway safety.

Parking - SPD11 states that the maximum provision for a B1 use is 1 space per 35 square metres of floorspace, which would equate to 9 spaces. The proposed development would provide 4 spaces and 1 disabled bay. The proposed development is for external changes only. The change of use of the building from Class B2 (engineering use) to B1 (light industrial) is permitted and the building could operate with no formal car park currently. Therefore, the provision of 5 spaces is welcomed and would represent an improvement from the current provision of none. The proposed parking provision is considered to be acceptable and would not conflict with Policy HT2/4 of the adopted Unitary Development Plan and SPD11.

Access - The proposed development would provide an accessible toilet and a disabled parking space. Level access would be provided to the building and as such, the proposed development would be accessible to all. Therefore, the proposed development would be in accordance with Policy HT5/1 of the adopted Unitary Development Plan.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows;- the proposed development would not have an adverse impact upon the amenity of the neighbouring properties and would not be a prominent feature in the streetscene. The proposed development would not be detrimental to highway safety. There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 30101/01, 30101/02, 30101/07A, 30101/08 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details of the colour of the render to be used in the external elevations, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to

any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to Section 11 of the National Planning Policy Framework.

5. If during any works on site, contamination is suspected or found, or contamination is caused, the Local Planning Authority shall be notified immediately. Where required, a suitable risk assessment shall be carried out and/or any remedial action shall be carried out in accordance to an agreed process and within agreed timescales to the approval of the Local Planning Authority.

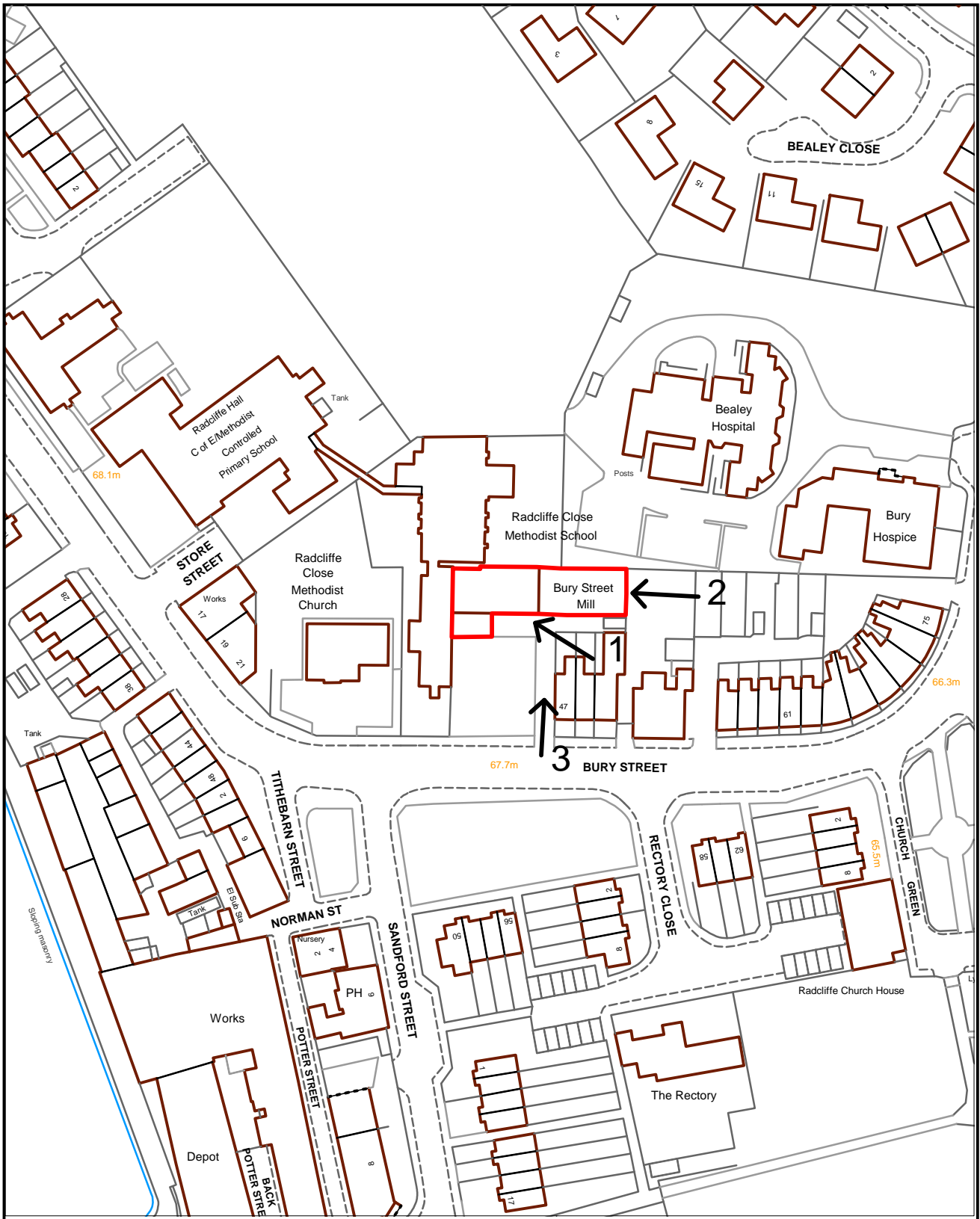
Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to Section 11 of the National Planning Policy Framework.

6. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use to the written satisfaction of the Local Planning Authority prior to the use hereby approved commencing and thereafter maintained at all times.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54910

**ADDRESS: Bury Street Mill
Bury Street
Radcliffe**

Planning, Environmental and Regulatory Services 1:1250

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54910

Photo 1

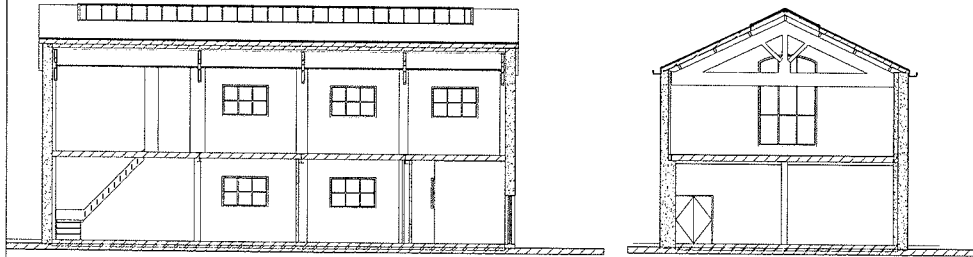


Photo 2



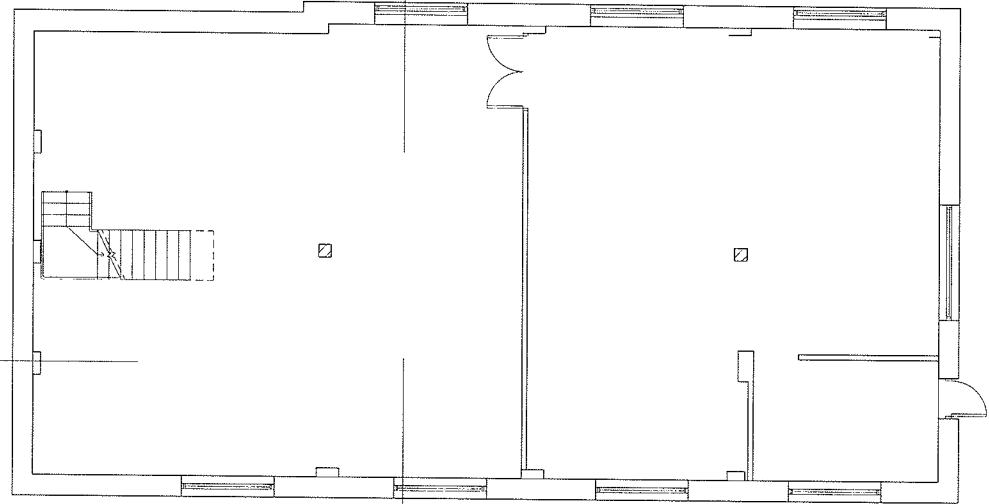
Photo 3



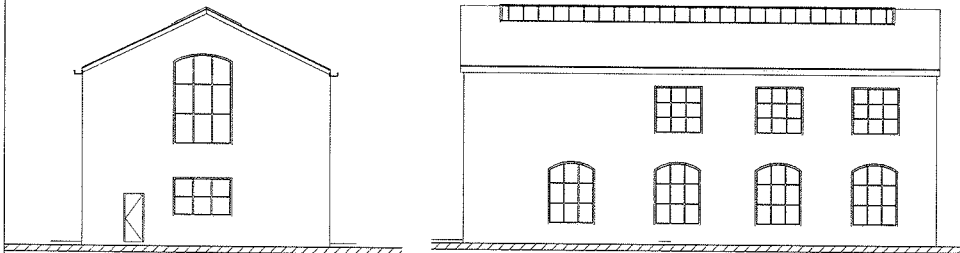


SECTION A:A

SECTION B:B

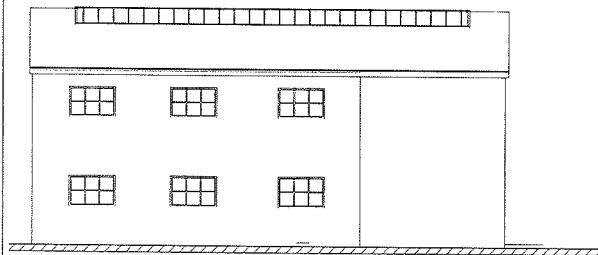


GROUND FLOOR

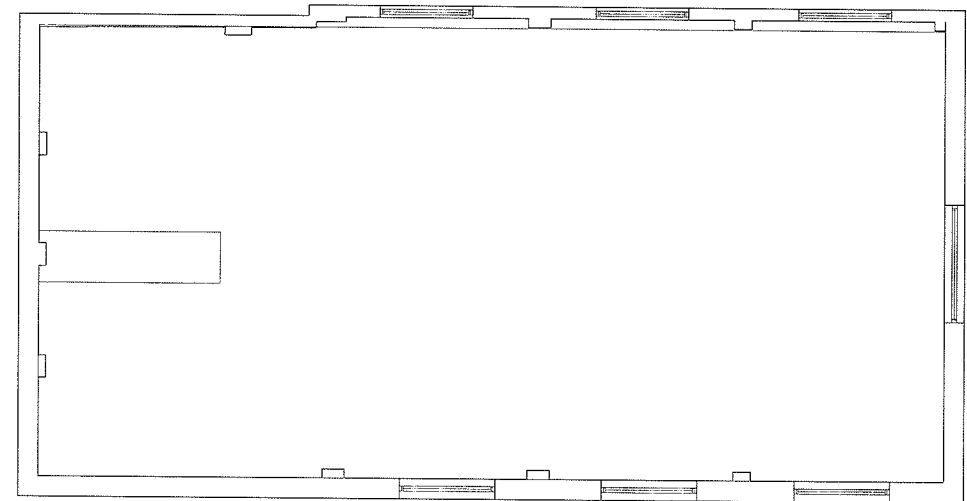


SIDE ELEVATION

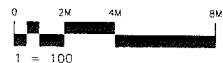
FRONT ELEVATION



REAR ELEVATION



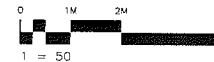
FIRST FLOOR



1 = 100
ELEVATIONS AND SECTIONS 1:100

A1 10CM 20CM

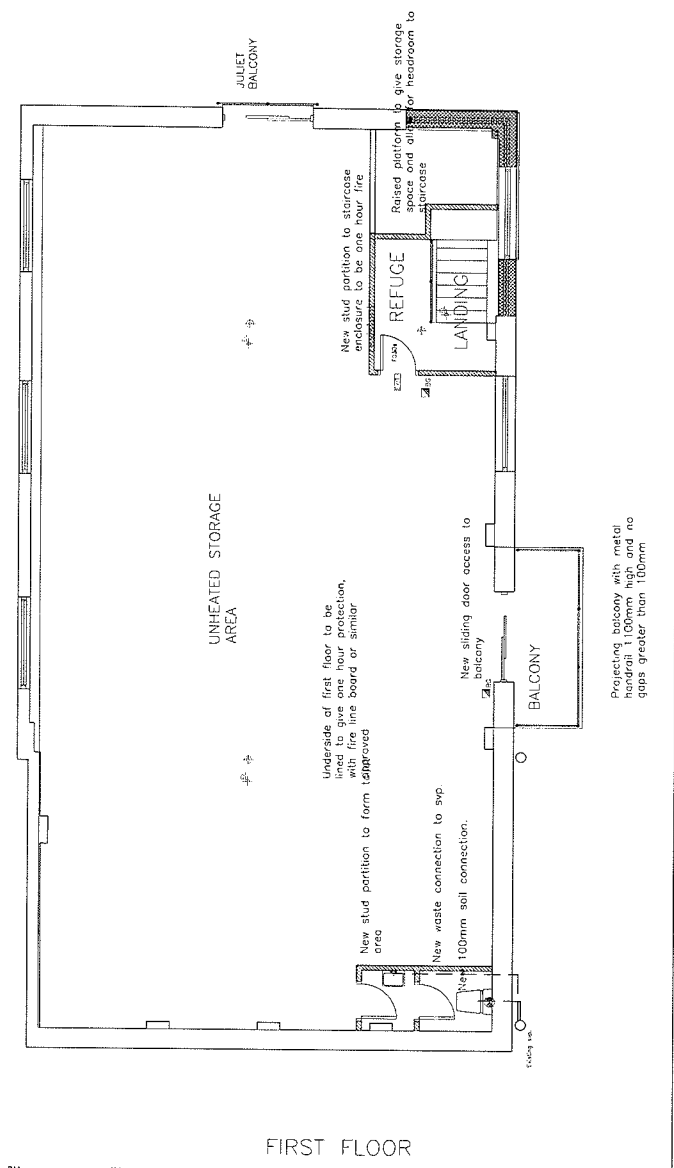
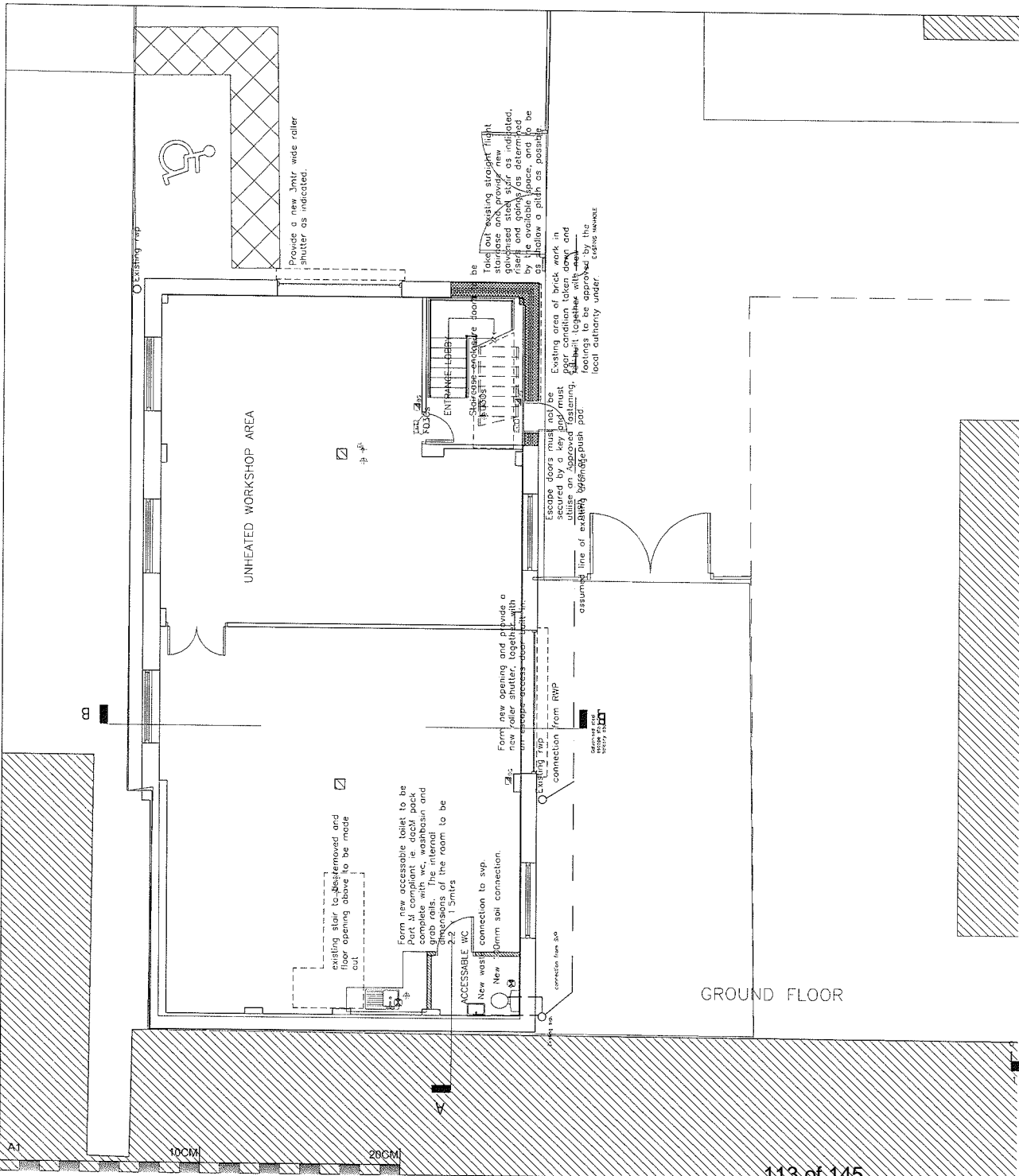
PLANS 1:50



1 = 50



CLIENT	BURY GRAPHICS		
SITE/CONTRACT	THE MILL, BURY STREET RADCLIFFE ALTERATIONS AND CHANGE OF USE		
TITLE	EXISTING PLANS SECTIONS AND ELEVATIONS		
DATE	MAY 11	SCALE	1:100
DRAWN	CHECKED	DWG No.	30101 / 02 /



Projecting balcony with metal handrail 100mm high and no gaps greater than 100mm

GONSHAW ASSOCIATES
 CHARTERED ARCHITECTS
 7 HAWKSTONE AVENUE WHITEFIELD VIC 3102
 TEL/FAX: 0451 734 1821 Mob: 0711818275
 Email: ron@gonshawassociates.com

CLIENT	BURY GRAPHICS		
SITE/CONTRACT	THE MILL, BURY STREET RADCLIFFE ALTERATIONS AND CHANGE OF USE		
TITLE	PROPOSED PLANS SECTIONS AND ELEVATIONS		
DATE	NOV 11	SCALE	1:50
DWG No.	30101 / 08 /		
DRAWN	CHECKED		

Ward: Whitefield + Unsworth - Pilkington Park

Item 10

Applicant: Mr Mike Cookson

Location: 195 Bury New Road, Whitefield, Manchester, M45 6GE

Proposal: Two storey extension; Provision of 6 no. car parking spaces and new access point off Bury New Road

Application Ref: 54920/Full

Target Date: 30/04/2012

Recommendation: Approve with Conditions

Description

The application relates to Cooksons cycle shop and a piece of rough ground immediately adjacent on the south west corner of Bury New Road and Pinfold Lane. The existing two storey red brick building was erected in 1989 and has been a cycle store ever since. The ground floor forms the main shop with a showroom and office above. The property is served by a customer car park with six spaces to the north of the building with access onto Pinfold Lane.

The site (706sqm) lies within All Saints Conservation Area and Whitefield district centre with the New Grove public house to the south and commercial properties to the east, across Bury New Road. To the north, across Pinfold Lane is the public park around the former town hall and there are residential properties (1 and 3 Pinfold Lane) to the west, across the back boundary. The rough ground to the south of the existing cycle shop is currently mounded with earth and has a advertising hoarding on it. There is BT box and traffic light camera on the footway in front.

The proposed extension is required to increase showroom and storage space. In design terms the extension reflects the existing building including the height of the eaves, window proportion and materials used. The proposed footprint has been set back slightly from the existing elevation facing onto Bury New Road to acknowledge the new building element and give some articulation to the frontage. There would be internal shutters and shutter boxes.

A new 6 space car park would be provided to the south side of the extension with access to and from Bury New Road. The access would comprise a 'left turn only' into and out of the site to prevent vehicles crossing Bury New Road. The land to the rear, adjacent to the boundary with 1 Pinfold Lane would be levelled and finished in stoned.

Along the Bury New Road frontage new concrete paving extend from the existing hardstanding in front of the existing building and planters and bollards would be provided to prevent ramraiding. A barrier would prevent entry to the new car park outside opening hours.

Relevant Planning History

00905/E - Proposed extension - Enquiry completed 07/09/2011

Publicity

Press and site notices were posted and the following 18 neighbours were notified by letter dated 5/3/2012. Nos.1 and 3 Pinfold Lane, Moss Bank, 146 – 166(evens) Bury New Road and 1 Moss Lane.

One representation from the resident of 1 Pinfold Lane. The resident, whilst not objecting to the principle of the proposal, has expressed concern about the security to their property. If the scheme is approved, their back garden would effectively be adjacent to Bury New Rd, which would not only compromise the security as it would be much easier for people to

climb over the current fence, but could also effect the value of their property.

The objector has been notified of the Planning Control Committee.

Consultations

Traffic Section - No objection.

Drainage Section - No objection.

Environmental Health - No objection.

Baddac Access - No objection.

Unitary Development Plan and Policies

S1/3	Shopping in District Centres
EN1/2	Townscape and Built Design
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN1/5	Crime Prevention
EN7	Pollution Control
S2/1	All New Retail Proposals: Assessment Criteria
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
NPPF	National Planning Policy Framework

Issues and Analysis

Shopping Policy – As the site lies within Whitefield District Centre, the following shopping policies are relevant.

S1/3, S3/2 and S3/3 relate to shopping in district centres and support proposals for new retail development that aids regeneration.

S2/1 All New Retail Proposals – Assessment Criteria sets out various factors that are considered in assessing applications for new retail. Factors include design, impact on the viability and vitality of the centre, traffic generation and parking, accessibility, residential amenity.

Design and Character of the Conservation Area - Policies EN1/2, EN2/1 and EN2/2 are relevant as the site is within All Saints Conservation Area. These policies generally indicate that development is acceptable within conservation areas where it preserves or enhances the special character or appearance of the area.

The site is within a busy commercial part of Bury New Road and is doing little to improve either the character of the area or the viability and vitality of the retail centre. It is considered that the design and siting of the new extension and associated works, in closely reflecting the existing building, would improve the general appearance of this part of the road by clearing up the site, removing a large advertising hoarding and as such would not have a detrimental impact on the conservation area.

Traffic and Parking - The proposed new 'left turn only' access arrangement is a result of pre-application discussions and is considered acceptable in that it would prevent undue conflict between vehicles entering and exiting the site and general traffic on Bury New Road. The new pedestrian refuge between the entrance and exit points is considered large enough to protect pedestrians on the footway.

Although the site is within a very sustainable location with good public access, the new six space car park is welcome and considered sufficient for a development of this nature. In this respect the proposal complies with UFP Policies HT2/4, HT6/2 relating to parking and pedestrian/vehicular conflict.

Accessibility - Access around and into the new building is generally level and with the two disabled parking spaces created, the scheme is considered acceptable and complies with UDP Policy HT5/1 Access for those with Special Needs.

Residential Amenity - The nearest residential property is No.1 Pinfold Lane, situated immediately to the west of the site. The rear garden of this property runs back along the site's western boundary which is comprised of a 1.8m timber waney lap fence that is raised up slightly from the site.

Whilst security is a planning consideration, the existing timber waney lap fence sitting on raised ground on the boundary appears to be in the control of the resident at No.1 Pinfold Lane and, although in need of some minor repairs in parts, is considered adequate. The cross section through the site indicates that the relative height of the neighbours land to that of the site.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-
The proposed extension is considered to be in keeping with the character of the street scene and would increase the vitality and viability of the shopping centre in which the site is located. The highway issues have been adequately addressed and there are no serious visual or residential amenity issues arising. The proposal is acceptable and complies with UDP Policies listed. There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

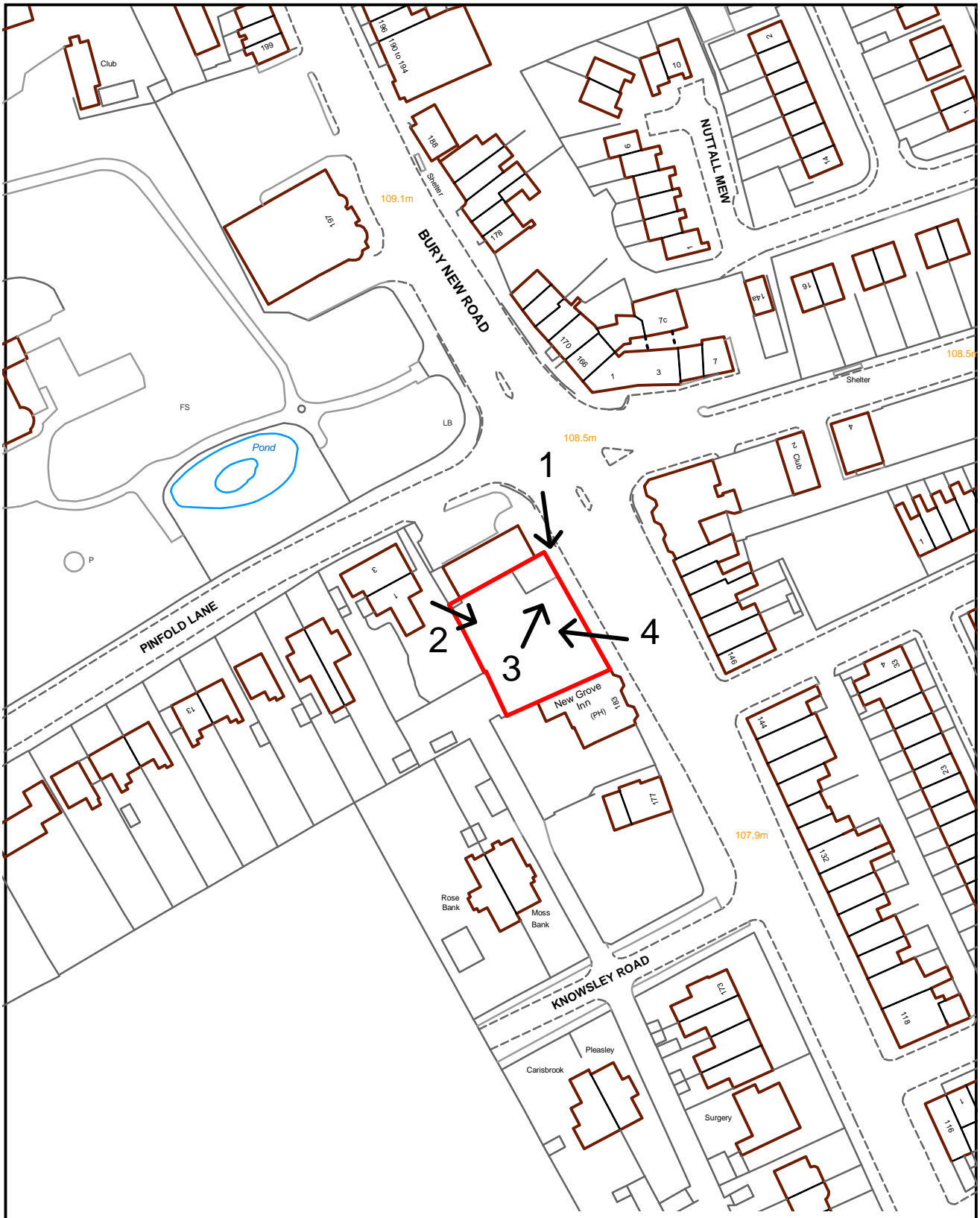
1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered C-0148-SLP-01, C-0148-02, 03, 04, 05, 06 and 07 and C-1148-sketch-01 the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Samples or full details of all materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to

Planning Policy Statement 23 - Planning and Pollution Control.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to the National Planning Policy Framework.
6. The development hereby approved shall not be brought into use unless and until the access arrangements indicated on approved plan references C-0148-04 & C-0148-05, incorporating a left in access/left out egress, pedestrian refuge and all associated bollards, tactile paving, road markings and demarcation of the limits of adopted highway, have been implemented to the written satisfaction of the Local Planning Authority.
Reason. To ensure good highway design in the interests of highway safety pursuant to UDP Policy HT6/2 Pedestrian Vehicular Conflict.
7. The turning facilities indicated on approved plan references C-0148-04 & C-0148-05 shall be provided before the development is brought into use and subsequently maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to UDP Policy HT6/2 Pedestrian Vehicular Conflict.
8. The car parking indicated on approved plan references C-0148-04 & C-0148-05 shall be surfaced, demarcated and made available for use prior to the development hereby approved being brought into use and thereafter maintained at all times, unless otherwise agreed in writing with the Local Planning Authority.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to UDP Policy HT2/4 Car Parking and New Development.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54920

**ADDRESS: 195 Bury New Road
Whitefield**



Planning, Environmental and Regulatory Services 1:1250

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54920

Photo 1



Photo 2

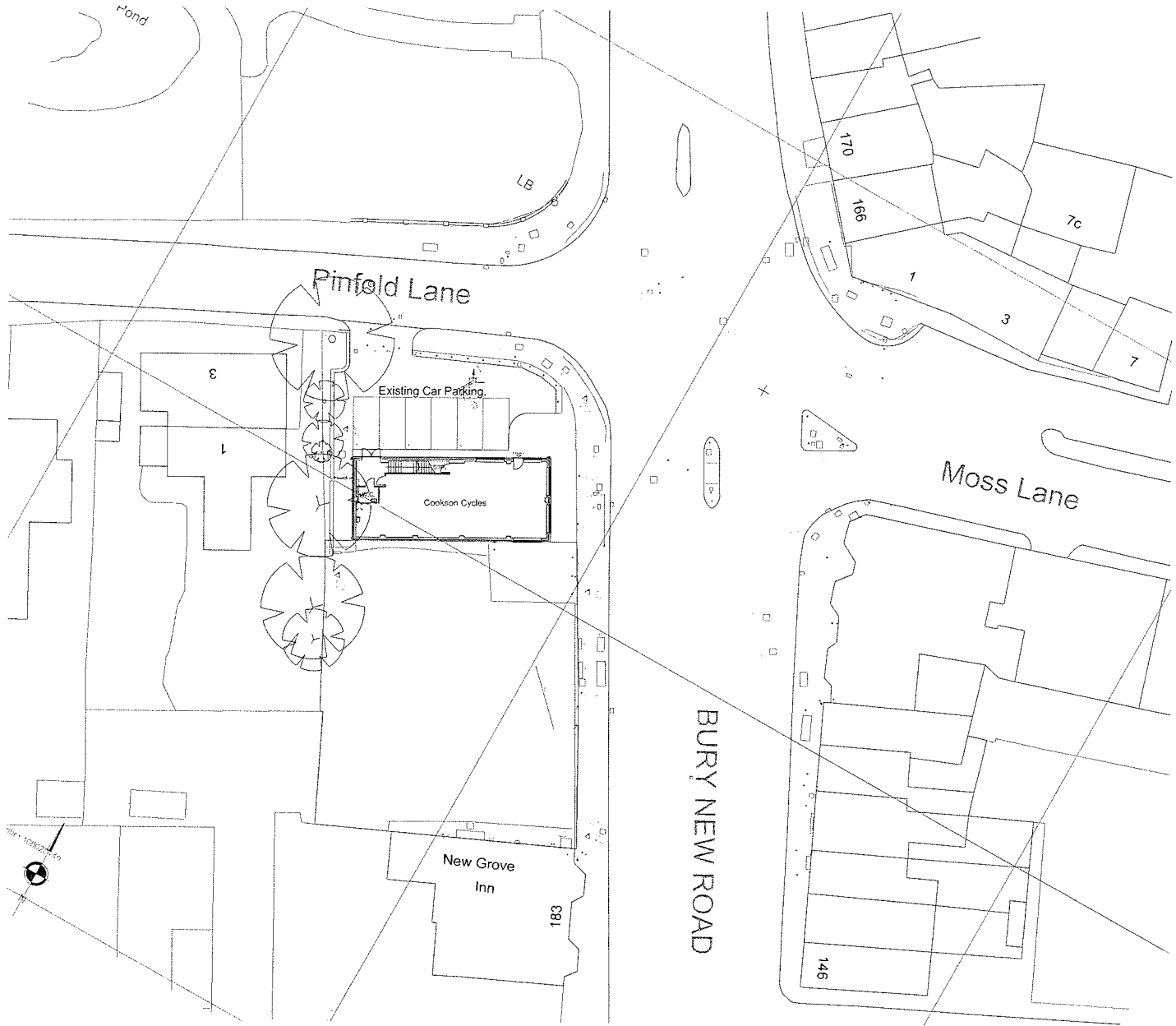


Photo 3



Photo 4





Existing Site Layout.

Existing Site Layout - Cooksons Cycles, Bury New Road, Whitefield.

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Do not scale from this drawing.

All dimensions are to be obtained on site prior to construction. Manufacturer of any component and ordering of materials and equipment.

Any discrepancies are to be reported to the architect for clarification.

All materials and workmanship to be in accordance with the current British Standards and codes of practice.

This drawing is to be read in conjunction with all relevant Architectural, Structural Engineers, Mechanical Engineers, Electrical Engineers and Specialists drawings and specifications.

REV	DESCRIPTION	DATE
001	Mike Cookson.	
PROJECT	Cooksons Cycles.	
ADDRESS	195 Bury New Road, Whitefield, M45 6GE	
DRAWN BY	Existing Site Layout.	
SCALE	DATE	DATE
1:200	Feb 12	CS
PROJECT NO.	CONTRACT NO.	DATE
C-0148-03	C-0148-03	



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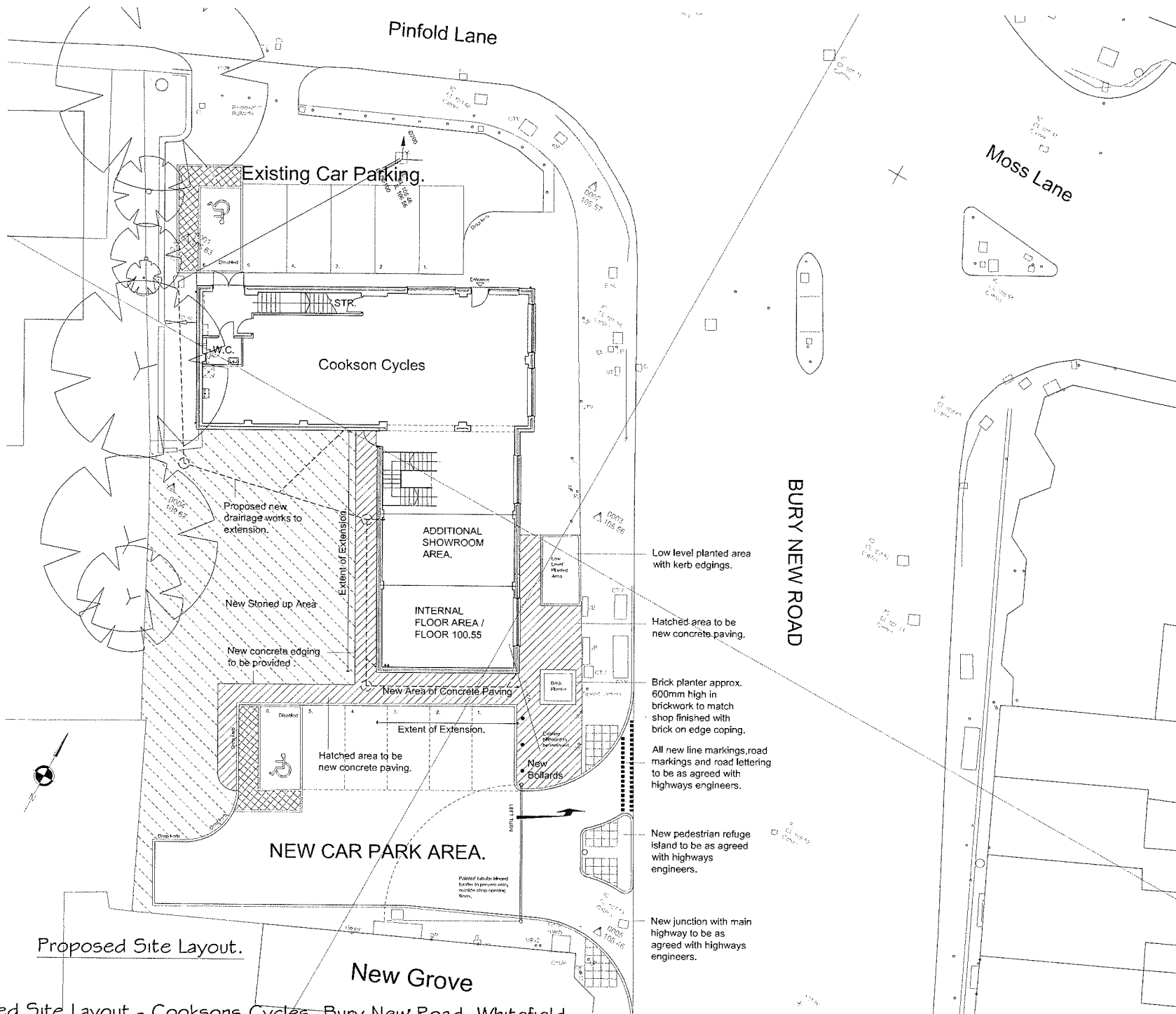
Do not scale from this drawing.

All dimensions are to be checked on site prior to construction, manufacture of any components and ordering of materials and equipment.

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This drawing is to be used in conjunction with all relevant Architectural, Structural Engineers, Mechanical Engineers, Electrical Engineers and Specialist drawings and specifications.



Proposed Site Layout - Cooksons Cycles, Bury New Road, Whitefield.

NO.	DESCRIPTION	DATE			
001	Mike Cookson.				
002	Cooksons Cycles.				
003	195 Bury New Road, Whitefield, M45 6GE				
004	Detailed Site Layout.				
DATE	SCALE	DATE	SCALE	DATE	SCALE
1:100	1:100	1:100	1:100	1:100	1:100
01/14/05	01/14/05	01/14/05	01/14/05	01/14/05	01/14/05

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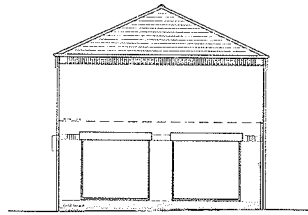
Do not scale from this drawing.

All dimensions, etc. to be checked on site prior to construction. Manufacture of any components and ordering of materials and equipment.

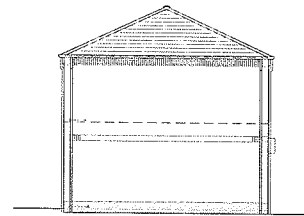
Any discrepancies are to be reported to the architect for clarification.

All materials and workmanship to be in accordance with the current British Standards and codes of practice.

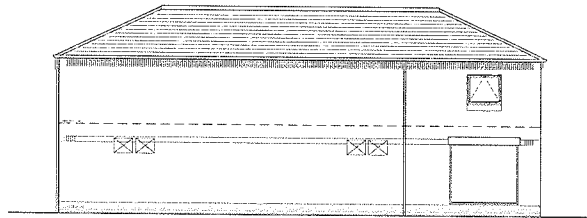
This drawing is to be read in conjunction with all relevant Architectural, Structural Engineers, Mechanical Engineers, Electrical Engineers and Specialist drawings and specifications.



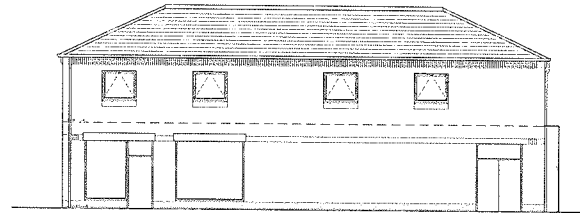
Existing Front Elevation.



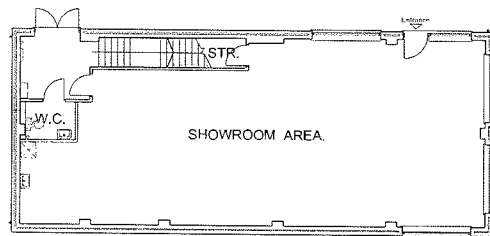
Existing Rear Elevation.



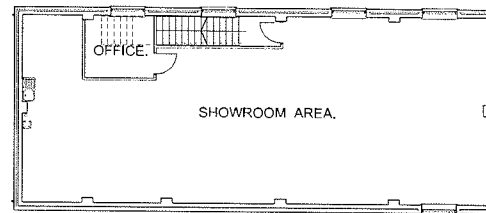
Existing Side Elevation.



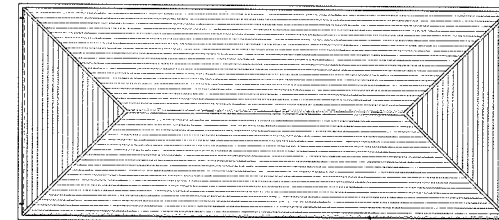
Existing Side Elevation.



Existing Ground Floor Layout.



Existing First Floor Layout.



Existing Roof Plan.

REV: 04/02/2012

DATE: 04/02/2012

BY: Mike Cookson.

PROJECT: Cooksons Cycles.

195 Bury New Road, Whitefield.
M45 6GE

REF: Existing Layouts and Elevations.

SCALE	DATE	BY	CHKD	ISSUED
1:100	Jan. 12	CS		
DESCRIPTION	C-0148-06		C-0148-06	



15401, Edinboro Road, Bury, Greater Manchester, M9 9JL. Tel: 0161 257 2021 Fax: 0161 257 2022
Website: www.equilibrium.co.uk Email: info@equilibrium.co.uk

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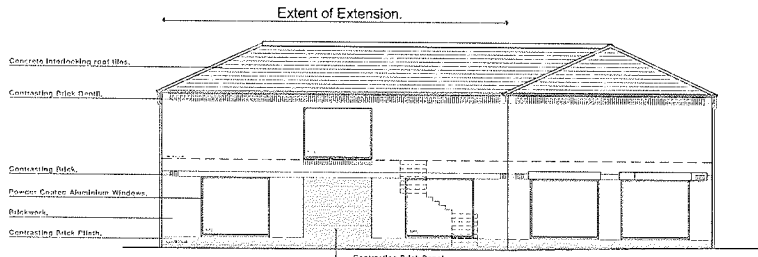
Do not scale from this drawing.

All dimensions are to be checked on site prior to construction, manufacture of any components and ordering of materials and equipment.

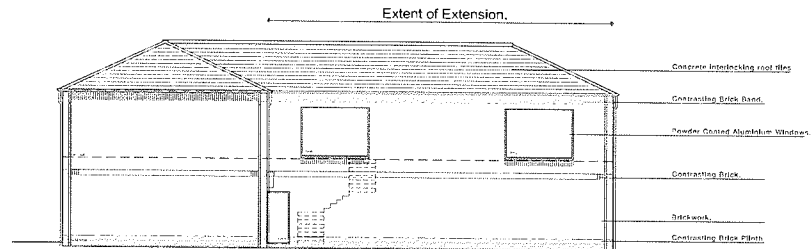
Any discrepancies are to be reported to the architect for clarification.

All materials and workmanship to be in accordance with the current British Standards and codes of practice.

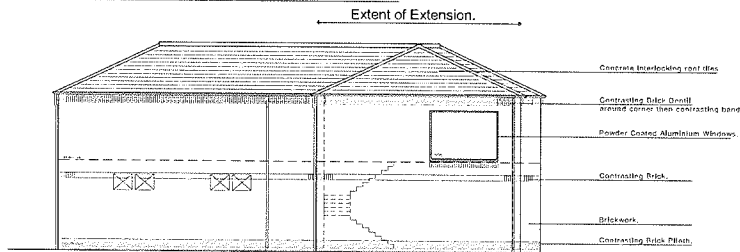
This drawing is to be read in conjunction with all relevant Architectural Structural Engineers, Mechanical Engineers, Electrical Engineers and Specialist drawings and specifications.



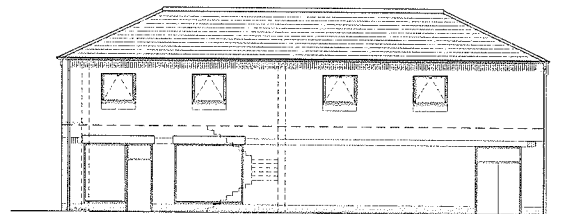
Proposed Front Elevation.



Proposed Rear Elevation.

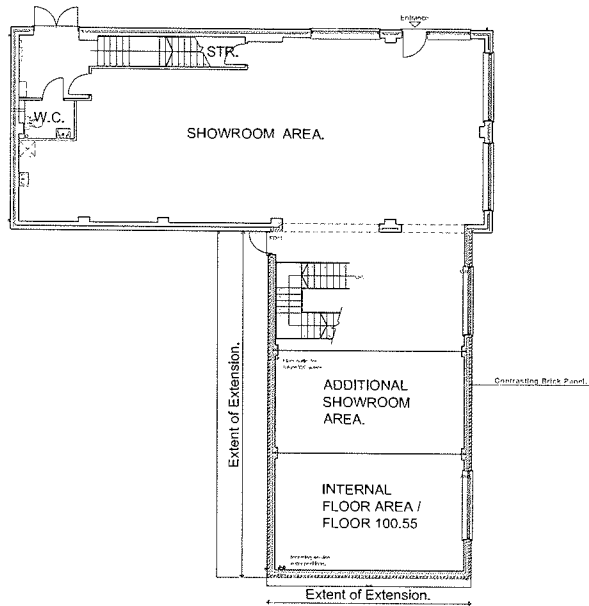


Proposed Side Elevation.

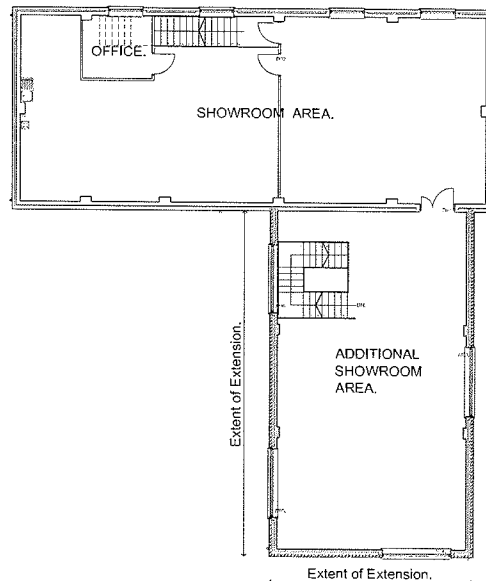


Proposed Side Elevation - No change.

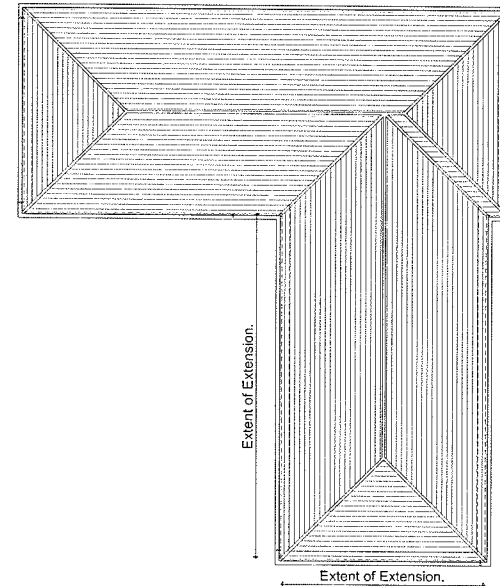
Material Schedule.	
Roof	- Concrete interlocking roof tiles to match existing roof tiles
Walls	- Brickwork to match existing brickwork with contrasting brick plinth, bands and dentil courses
Windows	- Powder coated aluminium



Proposed Ground Floor Layout.



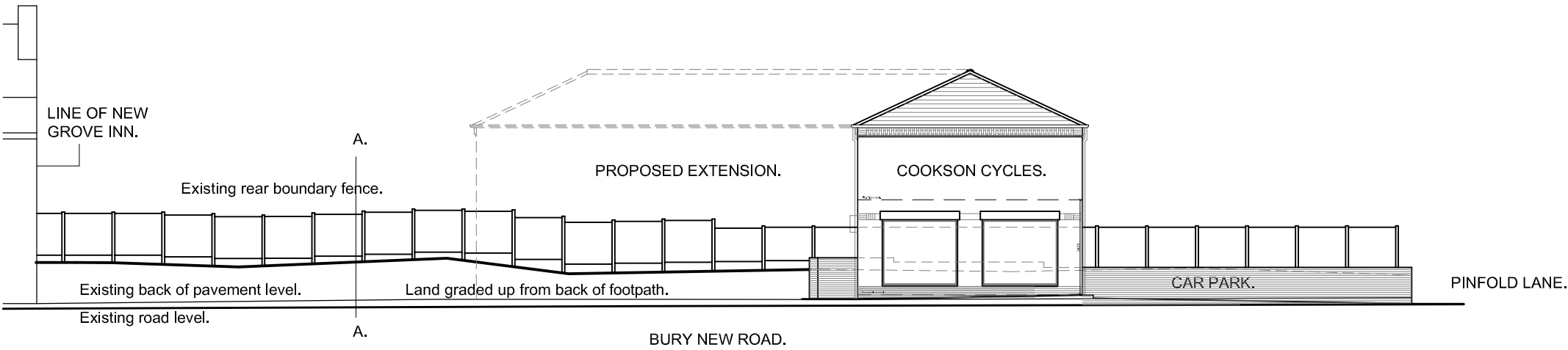
Proposed First Floor Layout.



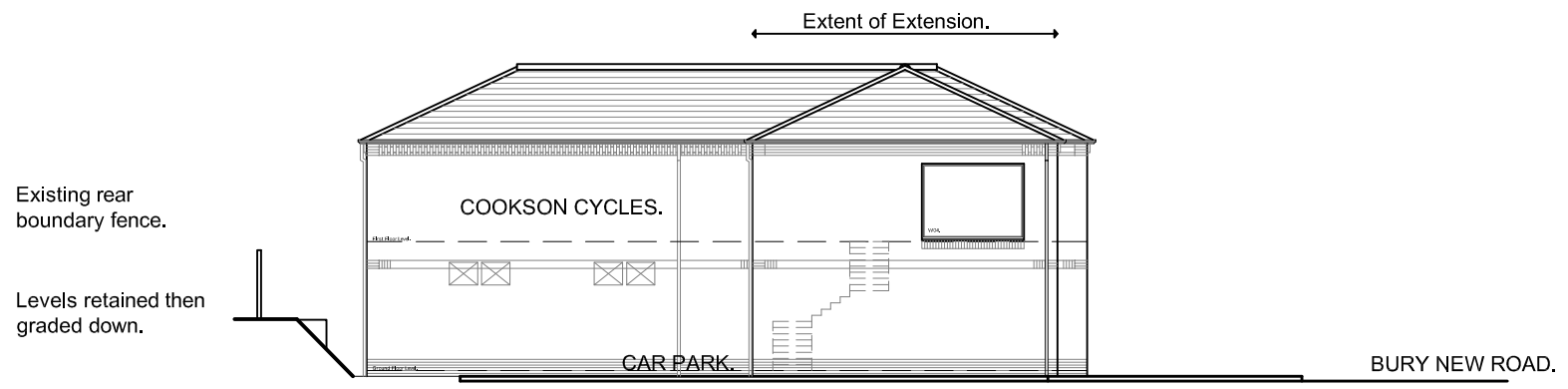
Proposed Roof Plan.

REV	DATE	BY	CHKD
001	21/02/2024	MC	
DRAWN BY			
Mike Cookson.			
PROJECT			
Cooksons Cycles.			
ADDRESS			
135 Bury New Road, Whitefield, M45 6GE			
TITLE			
Proposed Layouts and Elevations.			
SCALE	DATE	BY	CHKD
1:100		MC	
DRAWING NO.			
C-01-48-07			
PROJECT NO.			
C-01-48-07			






ELEVATION FROM BURY NEW ROAD 1 - 200.



SECTION A - A 1 - 200.

CLIENT Mr. M. Cookson		TITLE Elevation showing rear boundary fence line.			435-437 WALMERSLEY ROAD BURY LANCASHIRE BL9 5EU T : 0161 797 2077 F : 0161 797 2088 E : Info@equilibriumarchitects.co.uk	
PROJECT Cooksons Cycle Shop, 195, Bury New Road, Whitefield.		SCALE 1:200	DATE April 12	DRAWN CS	CHECKED -	
		DRAWING NO. 1286145	CAD REFERENCE NO. C-0148-Sketch - 01		REVISION -	

Ward: Bury East

Item 11

Applicant: Saima Altaf

Location: Church Inn, 81-83 Spring Street, Bury, BL9 0RN

Proposal: External alterations to public house (to enable subdivision of ground floor). Single storey extension to create restaurant/hot food takeaway (Use Class A4 and A5) unit.

Application Ref: 54942/Full

Target Date: 03/05/2012

Recommendation: Approve with Conditions

Description

The site is an existing public house on the corner of Spring Street and Lord Street close to Bury Town Centre. It closed due to becoming unprofitable and is currently vacant. To the north is the Asda superstore and car park, and there is a public car park directly to the west. Immediately to the north west and fronting Lord Street is a terrace row of 3 shops (hot food takeaway, Polish grocers and barbers and video shop) and to the south and east (Spring Street, Shepherd Street) the area is predominantly characterised by residential terrace properties.

The existing building is red Accrington brick with a rendered front elevation and stone detailing. Several single storey flat roof additions have been added. There is currently access to the rear yard area from Back Lord Street and what used to be a beer garden and grassed area belonging to the pub fronts Lord Street. It was previously enclosed by a concrete post and fence although the panels have since been removed. There is a row of tall conifers internally within the site which separates the beer garden from the rear yard.

Consent is being sought for external alterations to the public house to create new shop fronts, a single storey side/rear extension which would be used as a restaurant with ancillary hot food takeaway and the erection of a flue.

The applicant is seeking to subdivide the ground floor of the pub to create shops and a restaurant under Use Classes A1, A2, A3 and A4. Planning permission for the subdivision of the property and these uses do not require planning permission and can be carried out under Permitted Development.

Alterations - On the front elevation, the existing entrance door would be maintained and the window openings enlarged vertically. A new door opening would be created for access into one of the units and on the south east elevation facing Back Lord Street a window would be enlarged.

Extension - This would be located on the side elevation of the building, on the corner of Spring Street and Lord Street, set back from Spring Street. The front elevation would face Lord Street. It would be constructed of red brick with large glazed openings and fascia signage above. The roof would have a parapet, behind which would be a flue. Access to the extension would be through a gateway from Lord Street and entrance door on the rear elevation defined by a fibreglass canopy. An outside seating area would be provided. The existing yard area would be maintained for bin storage.

Proposed opening hours for the units and the restaurant would be 11am to 11pm.

The 1st floor would remain as living accommodation using the existing access door and staircase from Back Lord Street.

Relevant Planning History

No relevant history.

Publicity

14 letters sent on 14/3/2012 to properties at Nos 4,5,6, Shepherd Street; 58-70, (evens) Spring Street; 65,67,69,85 Spring Street.

One letter of objection received from No 60 Spring Street which raises the following issues:

- The development would be seriously detrimental to the residential amenities of nearby occupiers, by reason of the noise, smell, disturbance, car parking and general activity associated with the proposed use.
- There is also a takeaway nearby so no justification for another.

The objector has been informed of the Planning Control Committee meeting.

Consultations

Drainage Section - No comments received to date.

Environmental Health Contaminated Land - No comments to make.

Environmental Health Pollution Control - No objection subject to standard conditions to provide soundproofing between the units and clarification of the extraction system.

BADDAC - Seek level access and ensure that the customer toilet is suitable for disabled use.

Unitary Development Plan and Policies

Area Heywood Street/Spring Street
BY11

EN1/2 Townscape and Built Design

S2/6 Food and Drink

EN1/8 Shop Fronts

EN7/1 Atmospheric Pollution

EN7/2 Noise Pollution

Issues and Analysis

Policies - Unitary Development Plan Policy S2/6 - Food and Drink will have regard to the following factors - amenity of nearby residents by reason of noise, smell, litter and opening hours; whether there would be an over concentration of these types of uses, parking and servicing provision; storage and disposal.

EN1/2 - Townscape and Built Design gives favourable consideration to proposals which do not have an unacceptable adverse effect on the environment and character of areas in relation to their external appearance and design, relationship to surrounding area, choice and use of materials, access and design features for the mobility impaired, access, parking and service provision, landscape and lighting.

EN1/8 - Shop Fronts seeks to ensure that new and altered shop fronts properly respect the architectural elements of the building and character of the street scene.

Principle - The site is just outside the boundary of the main shopping area of Bury Town Centre. The building itself is already in commercial use and it is acknowledged that some external alterations and extension would be required to accommodate future uses of the building. It is proposed to sub divide the building into four units within Use Classes A1, A2, A3 and A4 which would be permitted development. The proposed materials would respect the existing building and the main fabric of the building would remain. As such, it is considered that the alterations and extensions would not unduly change the character of the area.

Design and appearance - On the front elevation, the proposed shop fronts would be a standard design with 3 display windows to the front elevation and an entrance to each of the separate units. The side elevation facing Back Lord Street would remain relatively unchanged, the only alteration being the increase in size of one window.

More significantly would be the proposed extension and how it would be read in conjunction with the existing building and within the streetscene. The extension would be located on the corner of Spring Street and Lord Street. The front elevation would face onto Lord Street and large windows inserted to interact with the external area. Whilst it would be located on a prominent street corner, its impact would be mitigated by the fact it is single storey and viewed against the existing 2 storey building, would be constructed of matching red brick and would be set back from the elevation of the building facing Spring Street. The parapet roof design would also reduce the scale and bulk of the extension and therefore have less of a visual impact on the area.

As such, the elevation alterations are considered to be minimal and the extension has been sensitively designed to be in keeping with the existing building and with respect to the surrounding area, and would therefore comply with UDP Policy EN1/2 - Townscape and Built Design and EN1/8 - Shop Fronts.

Residential amenity - Planning permission would not be required to change the use of the existing public house to a restaurant and as such the principle of using the extension as an eatery is acceptable. The proposals would include an element of takeaway. However the area proposed for this service in relation to the restaurant is considered to be relatively minor and ancillary to the main use and it is not unusual for restaurants to offer a take out service. Although there is one other takeaway nearby on Lord Street, the proposal is considered not to result in an over concentration of this type of establishment.

The extension would be located to the north west of the site and with the nearby residential properties on Spring Street in mind, it is proposed to locate the entrances from Lord Street and round the side further away from the houses. As such, activity and comings and goings from the extended area would be less likely to cause disturbance to these residents.

The proposed hours of the units would be 11am to 11pm which are not dissimilar to the opening hours of a public house and this would be controlled by condition.

Given the nature and scale of what is proposed and its location in relation to the nearest residential properties, the proposals are considered to be acceptable and would comply with S2/6 - Food and Drink.

Extraction flue - The flue would be located towards the centre of the site on the new extension, against the rear wall of the existing pub building. Whilst it would be visible when viewed from Lord Street and the wider public domain, this area is more commercial in character than the south eastern part of the site which is predominantly residential and as such there would be less impact on the outlook from the nearby residential houses. Additionally, the lower part of the flue would be screened by the parapet and roof of the extension which would also mitigate its impact visually.

The Pollution Control section have not raised an objection to the proposed location or type of flue and suggest the standard condition be included.

As such, the proposal is considered to comply with EN7 - Pollution Control and S2/6 - Food and Drink.

Servicing and storage - This would be provided at the rear of the property and accessed via Back Lord Street or through the external yard area off Lord Street.

Parking - The site is located within walking distance of the town centre and close to public car parks and therefore parking is considered not to be an issue.

Access - The plans show the new doorways would provide level access to customers. Internal door openings would be 1m wide and disabled toilet facilities provided. As such the proposal would comply with HT5/1 - Access for those with Special Needs.

Response to objector - The issues raised by the objector have been covered in the above report.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

The proposed development would not be detrimental to the amenity of the surrounding residential properties nor have an adverse impact on the character of the area. Adequate storage and servicing facilities would be provided and there are no highway safety issues. There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings 1 - Existing ground floor; 2 - Existing 1st floor; 3 - Existing elevations south east and south west; 4 - Existing elevations north west and north east; 5A - Proposed ground floor; 6A - Proposed elevations south east and south west; 7A - Proposed elevations north west and north east, and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The use hereby permitted shall not be open to customers outside the following times: 11.00 to 23.00 Daily.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies S2/6 – Food and Drink.
4. Details/Samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
5. A written statement from a suitably qualified person shall be submitted with the proposed kitchen extraction scheme which shall confirm that the proposed scheme will achieve the requirements of adequate treatment, dilution and dispersion of fumes and odours under all normal operating circumstances, such that there is no loss of amenity to local residents. All equipment installed shall be used and maintained in accordance with the manufacturers and installers instructions. The installation shall be so designed such that the maximum noise emitted does not exceed NR25 (Noise Rating) in the bedrooms of the nearest residential property, with the windows of that residential property being open in the normal manner for ventilation purposes.
The scheme shall be implemented prior to first use of development, in accordance with the approved details.
Reason - In order to prevent loss of amenity to local residents by virtue of fumes, odour and noise, pursuant to Unitary Development Plan Policy S2/6 - Food and

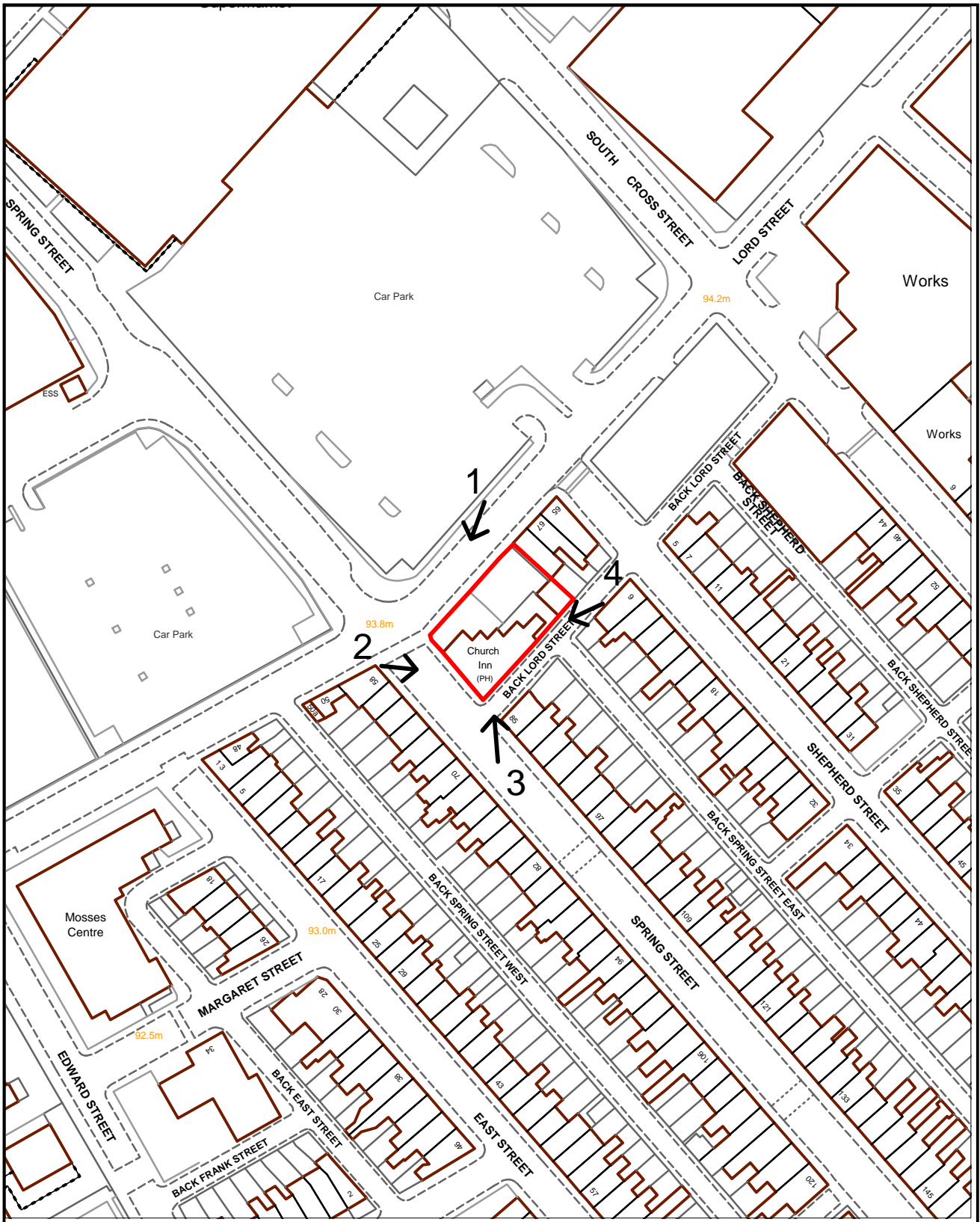
Drink.

6. No development shall take place unless and until a scheme to provide and install soundproofing between commercial units and between commercial and residential areas has been submitted to and approved by the Local Planning Authority. The levels of acoustic insulation to be provided shall be, as a minimum, those deemed to be acceptable and specified as standards of construction in current Building Regulations. Such works that form the approved scheme shall be completed before the development is brought into use.

Reason - To ensure that the level of noise emanating from the proposed development is not excessive and is not detrimental to the amenities of occupiers of nearby residential properties pursuant to Bury Unitary Development Plan Policy EN7/2 - Noise Pollution.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54942

**ADDRESS: Church Inn
81 - 83 Spring Street
Bury**

Planning, Environmental and Regulatory Services 1:1250

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54942

Photo 1



Photo 2

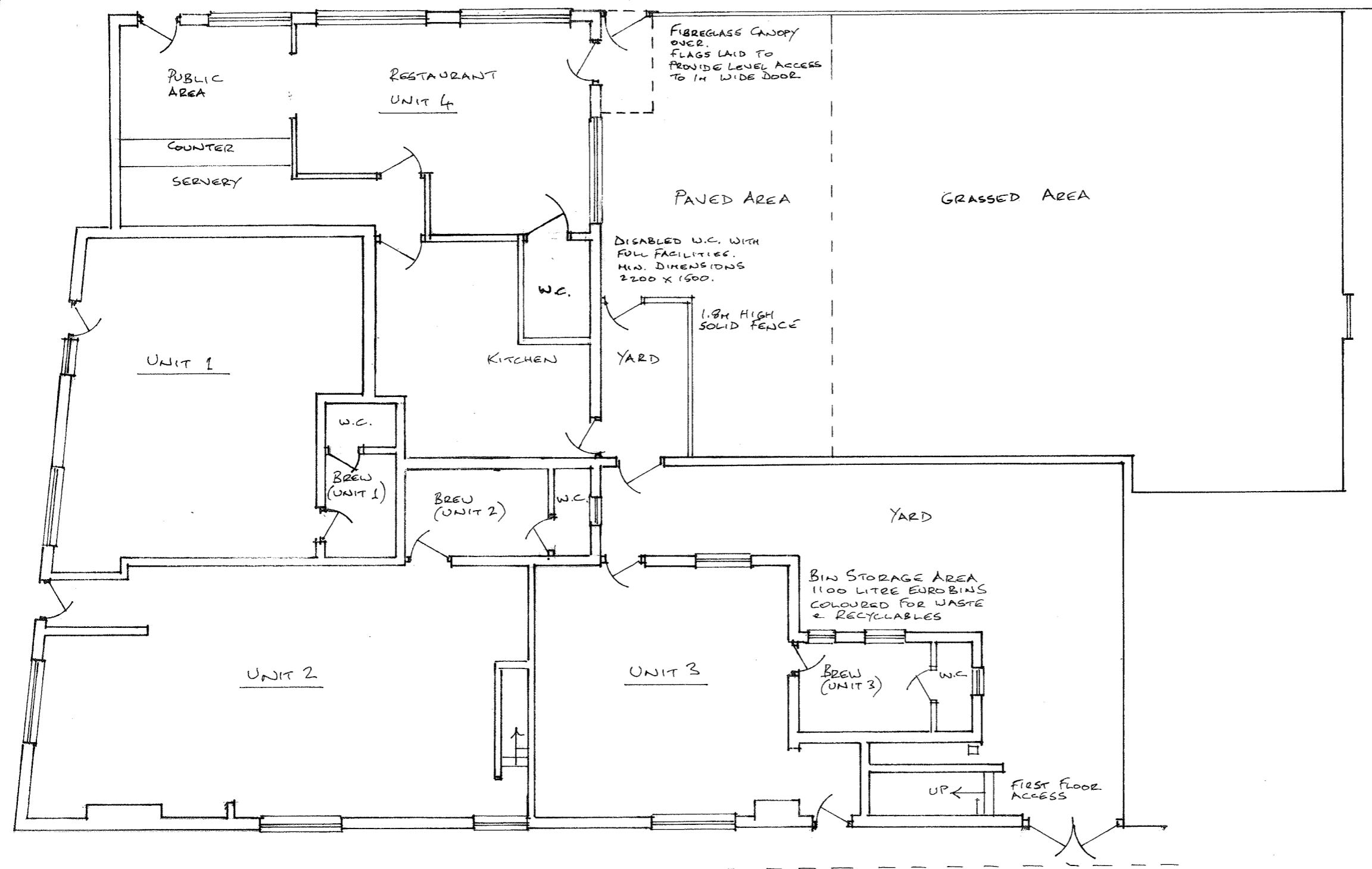


Photo 3



Photo 4





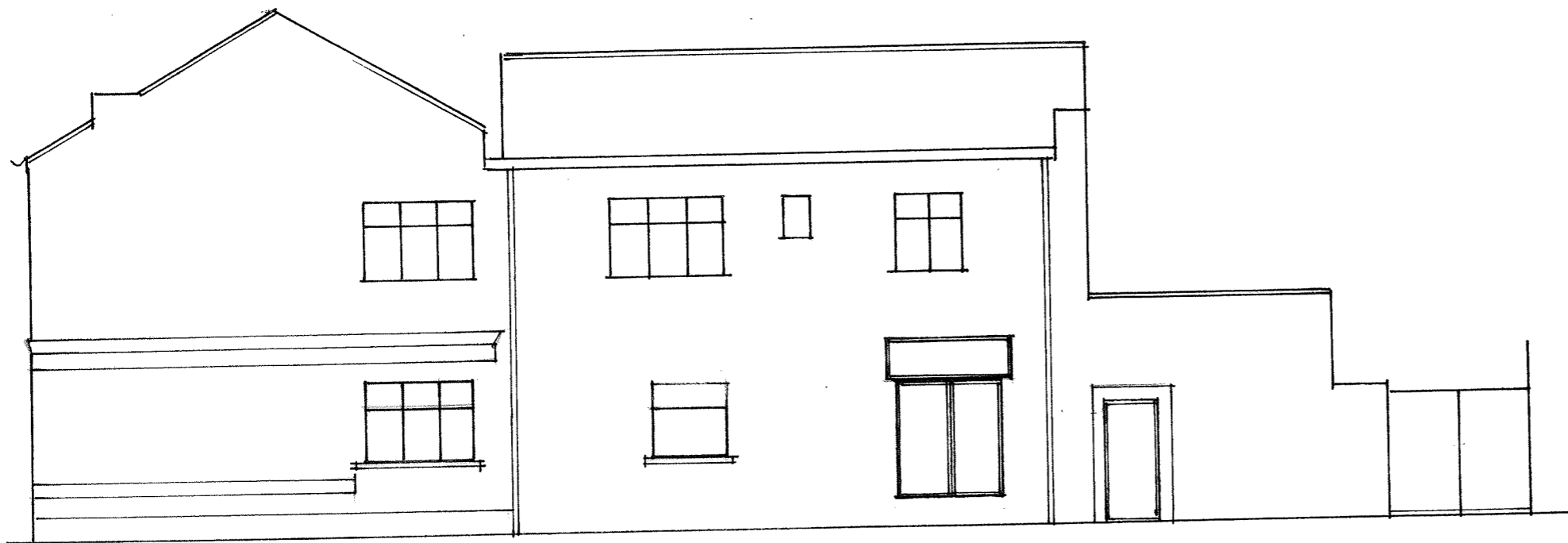
5A PROPOSED GROUND FLOOR PLAN

SCALE 1:100 @ A3

2/4/12 LAYOUT AMENDED. DISABLED NOTES ADDED
29/2/12

12/003/05

PROPOSED ALTERATIONS & EXTENSION
CHURCH INN, 83 SPRING STREET, BURY BL9 0RN



SOUTH EAST ELEVATION

WHITE UPVC DOORS & WINDOW
FRAMES TO MATCH EXISTING IN
EXISTING OPENINGS
NATURAL SLATE ROOF
RED BRICKWORK TO MATCH EXISTING
WITH PARAPET WALL



SOUTH WEST (FRONT) ELEVATION

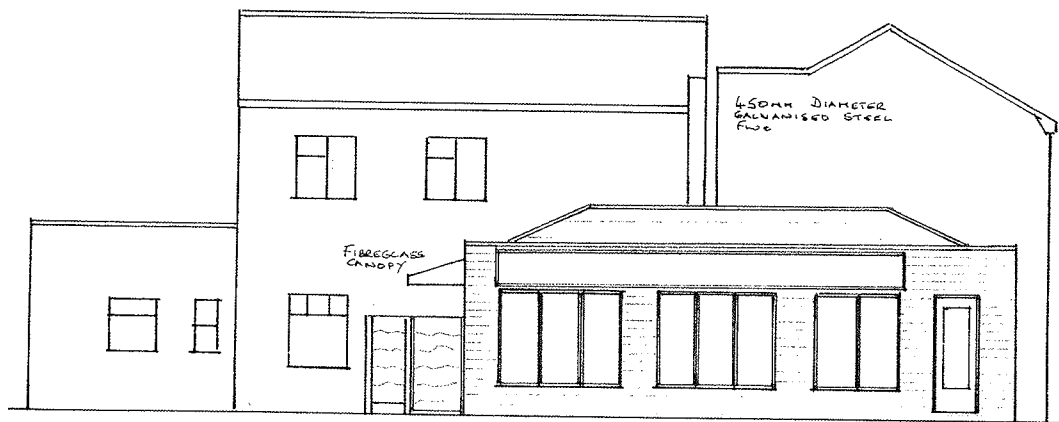
SCALE 1:100 @ A3

6A PROPOSED ELEVATIONS

2/4/12 EXTENSION DESIGN AMENDED
29/2/12

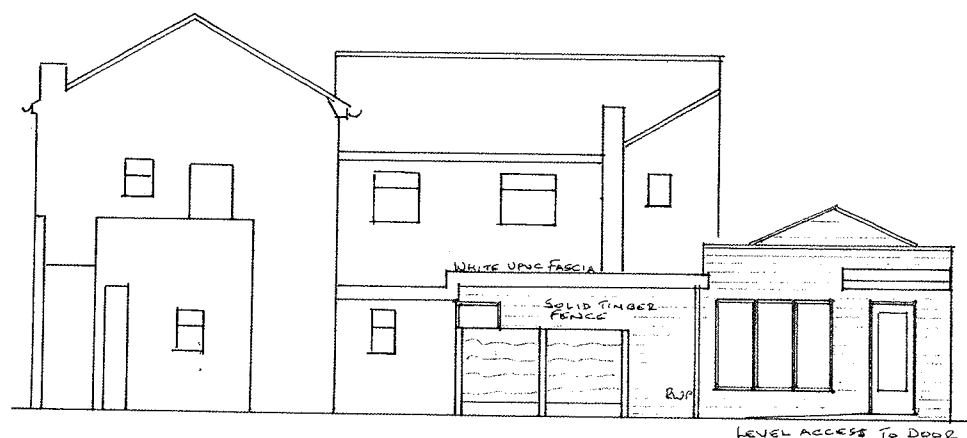
12/003/06A

PROPOSED ALTERATIONS & EXTENSION
CHURCH INN, 83 SPRING STREET, BURY BL9 0RN



NATURAL SLATE ROOF @ 25° PITCH
 FASCIA SIGN SUBJECT TO ADVERTISEMENT CONSENT
 SMOOTH RED BRICKWORK TO MATCH EXISTING. CONCRETE COPING TO PARAPET.
 WHITE UPVC DOORS & WINDOWS

NORTH WEST ELEVATION



7A PROPOSED ELEVATIONS

NORTH EAST ELEVATION

SCALE 1:100 @ A3

2/4/12 DESIGN AMENDED

12/003/07A

PROPOSED ALTERATIONS & EXTENSION
 CHURCH INN, 83 SPRING STREET, BURY BL9 0RN

Ward: Prestwich - Sedgley

Item 12

Applicant: VODAFONE LTD

Location: Pavement on the East Side of Bury Old Road, Prestwich, Manchester, M25 0EG

Proposal: Installation of a 17.5m high shareable vodafone street pole radio base station.

Application Ref: 54966/Full

Target Date: 08/05/2012

Recommendation: Approve with Conditions

Description

The proposed development is located at the back of the footway, which serves a bus layby on the eastern side of Bury Old Road. To the rear of the application site is a bank of mature trees and beyond that is the grounds of the Woodthorpe Hotel. Opposite the application site are residential properties, with the exception of a doctor's surgery and the surgery directly overlooks the site. Heaton Park, which is a listed park and the Grand Lodge which is a Grade II listed building within the park are located some 100 metres to the north of the application site and St Monicas RC High School is located some 240 metres to the north west.

The proposed development involves the installation of a 17.5 metre streetworks pole including 6 antennae and equipment cabinets. The proposed mast would be operated by Vodafone, but there would be capacity to share the mast at a later stage.

Relevant Planning History

48235 - Prior approval application for telecommunications installation comprising 15 metre imitation telegraph pole, 3 antennae within a shroud, radio equipment cabinets and ancillary development at pavement adjacent to Woodthorpe Hotel (opposite Nos 121 - 123) Bury Old Road, Prestwich. Prior approval required and granted - 25 July 2007

Publicity

225 neighbouring properties within 150 metres of the site were notified by means of a letter and site notices were posted on 19 March 2012.

11 letters have been received from the occupiers of 112 Scholes Lane; 5 West Meade; 97, 99, 129 Bury Old Road; 46A, 58 Bishops Road; 9 Fairway; 73 Windsor Road; 17 Parkway, which have raised the following issues:

- Impact upon health risk.
- Proposed development would be unsightly.
- Impact upon property prices.
- The masts should not be located in residential areas.
- Question the need for this mast. There is already a mast opposite Tesco Express on Bury Old Road.
- There is good reception for Vodafone and O2 in the vicinity, so the mast is not required.
- The mast should be disguised as a tree to minimise impact.
- Impact upon the students at St Monica's RC High School.

An e-mail has been received from Councillor Quinn, which has raised the following issues:

- The mast could be situated amongst the nearby trees on the corner of Bury Old Road and Sheepfoot Lane.
- The position put forward by Vodafone appears to be the cheapest option and would be an eyesore to local residents.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objections, subject to the inclusion of informatives.

Environmental Health - Contaminated Land - Comments awaited.

Environmental Health - Pollution Control - Comments awaited.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN1/4	Street Furniture
EN1/7	Throughroutes and Gateways
EN1/10	Telecommunications
EN8	Woodland and Trees
EN2/3	Listed Buildings
HT2	Highway Network
NPPF	National Planning Policy Framework

Issues and Analysis

Health issues - Government guidance in the form of the National Planning Policy Framework (NPPF) states that local planning authorities must determine applications on planning grounds. They should not seek to prevent competition between different operators, question the need for the telecommunications system, or determine health safeguards if the proposal meets International Commission guidelines for public exposure.

In this case, the applicant has indicated that the proposal would meet the ICNIRP guidelines through the submission of a certificate.

Supporting information - 8 alternative sites were put forward by the agent and include Woodthorpe Public House, pavement in front of parade of shops, Shell Petrol Station, St Gabriel Parish Church, Vangate House, Holy Law South Broughton Synagogue, Prestwich mosque and Manchester Maccabi Sports Club.

These sites included greenfield installations and installations on existing buildings/structures and were discounted for the following reasons:

- The site provider would not allow development of the site;
- The development of the site is not possible due to the presence of underground services;
- Too far from the coverage area;
- The site would not provide the required level of coverage;

The proposed development is required to increase network capacity and to provide 3G coverage to this area. Sufficient information has been provided to justify the need for the proposed development in terms of improved coverage for the site. The mast would have capacity to accommodate O2, should additional coverage for 3G be required in the future. Therefore, the proposed development would be in accordance with Policy EN1/10 of the adopted Unitary Development Plan and the NPPF.

Impact upon surrounding area - The proposed mast would be located at the back of the footway. The proposed pole has been designed to reflect the existing street furniture in the immediate vicinity, which includes streetlights, road signage and telegraph poles. As such, the proposed development would be viewed in the context of the existing street furniture and trees and would not be a prominent feature in the streetscene.

The proposed development is located within the bus layby and Heaton Park is some 105 metres to the north and the listed gatehouse is some 150 metres to the north of the site. Given the distances involved between the proposed site and the listed park and listed gatehouse, it is considered that the proposed development would not impact adversely in terms of the historic and architectural value. No works are proposed to the existing trees between the site and the listed park and gatehouse and as such, would act as a screen.

Therefore, the proposed development would be in accordance with Policies EN1/2 and EN2/3 of the adopted Unitary Development Plan and NPPF.

There is a surgery directly opposite the site and the proposed development would not be directly overlooked by any residential property. There would be a minimum of 37 metres between the proposed development and the nearest residential property. Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring residents and the proposal would be in accordance with Policies EN1/2 and EN1/10 of the adopted Unitary Development Plan and the NPPF.

Trees - An Arboricultural Report was submitted as part of the application and concludes that the proposed mast and equipment cabinet would not have any impact upon the overall integrity of the copse, visual amenity or treed character of the area. No works are proposed to the trees and therefore, the proposed development would be in accordance with Policy EN8 of the adopted Unitary Development Plan.

Highways issues - The proposed development would be set at the back of the footway and would maintain a footpath width of 2.8 metres. The Traffic Section has no objections to the proposal. As such, the proposed development would not have an adverse impact upon pedestrian safety. Therefore, the proposed development would be in accordance with Policy EN1/10 of the adopted Unitary Development Plan.

Response to objectors

The issues of visual amenity, the need for the proposed development and health issues have all been addressed above. The impact upon property prices is not a material planning consideration and should not be taken into account.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

Having due regard to both National and Local Policy, in particular UDP Policy EN1/10 (Telecommunications), it is considered that the proposed development is acceptable in relation to health and safety issues, due to the submission of the relevant Certificate under ICNIRP. The location of the proposed apparatus would not be unduly prominent within the street scene and would not be detrimental to the setting of the adjacent listed park (Heaton Park) or Grade II listed building (Grand Lodge). Therefore, the proposed development is considered to be acceptable.

There are no other material considerations that outweigh this finding.

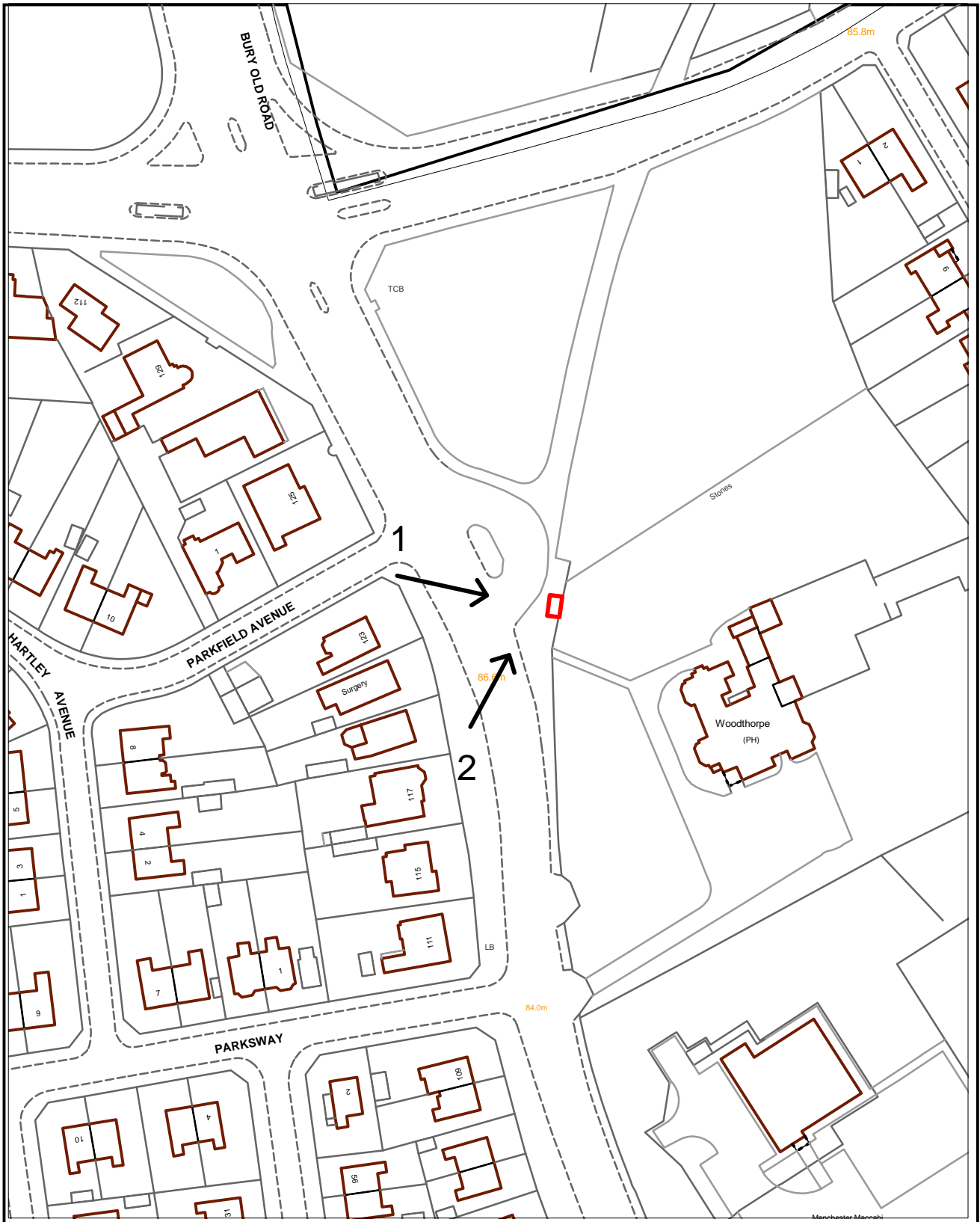
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 100, 200, 300 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The colour of the mast shall be black (RAL 9017) and the colour of the equipment cabinets shall be green (RAL 6009), unless otherwise agreed in writing with the Local Planning Authority.
Reason. In the interest of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and Policy EN1/10 - Telecommunications of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54966

ADDRESS: Pavement on the East Side of Bury Old Road
Prestwich



Planning, Environmental and Regulatory Services **1:1250**

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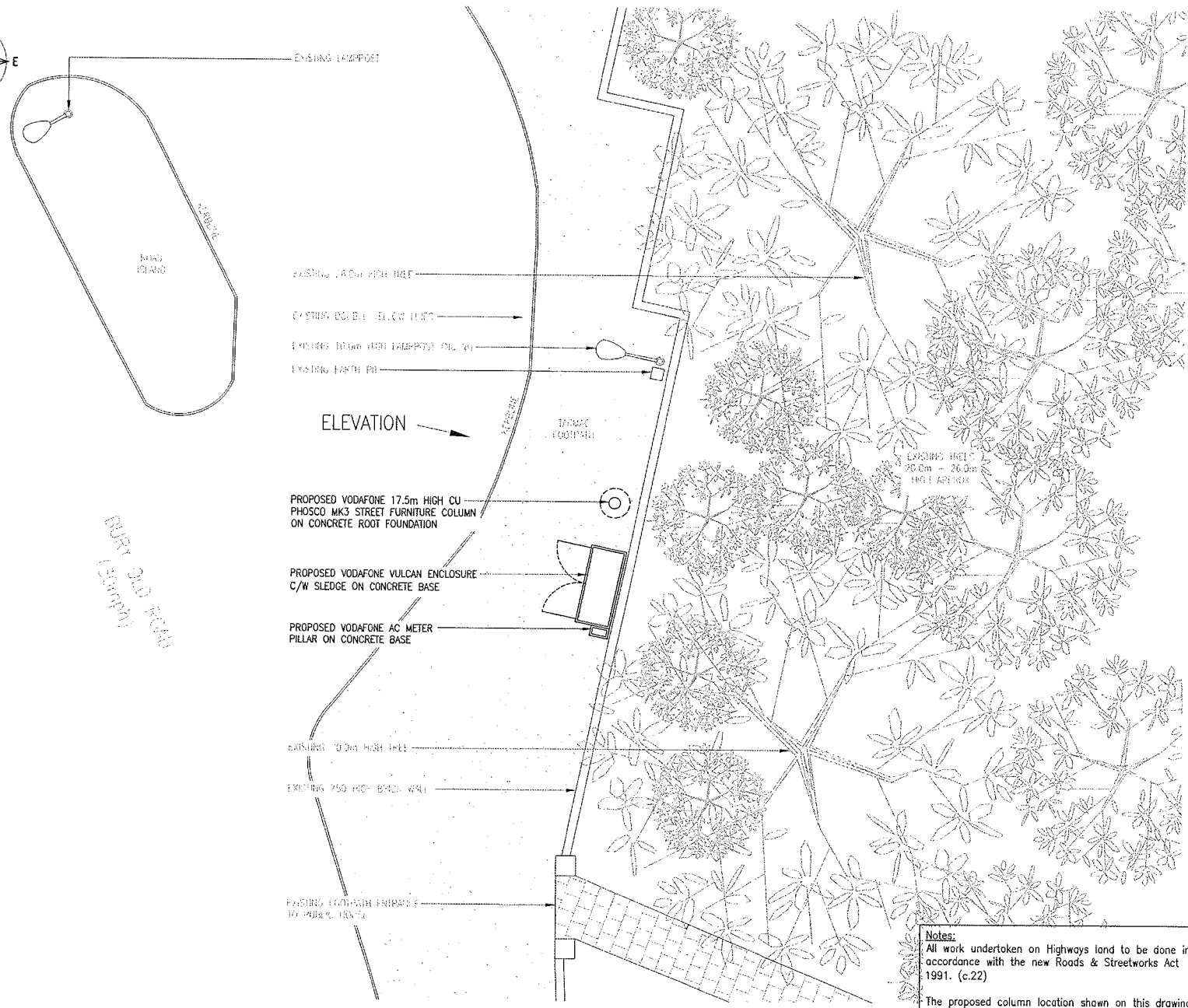
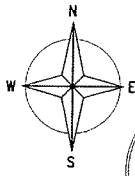
54966

Photo 1



Photo 2





PROPOSED SITE PLAN
(1:100)

The drawings comply with O2UK & Vodafone Non-Standard ICNIRP guidelines.
Designed in accordance with Cornerstone document: CORN/09/013

Notes:
All work undertaken on Highways land to be done in accordance with the new Roads & Streetworks Act 1991. (c.22)
The proposed column location shown on this drawing is subject to the receipt of Statutory Authority searches, a CAT scan and a trial dig of the proposed column location.
The final column location is to be determined by Mono Ltd based on the above information using the relevant Statutory Authority guidelines

Notes:
1 ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE

N.G.R. E: 382638 N: 403054

REV	A	Issued for Approval	SPD	SH	17.02.12
REV		MODIFICATION	BY	CH	DATE

mono #
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Cornerstone Project

Cell Name		Opt					
SW OUTSIDE THE WOODTHORPE PH		D					
Cell ID No							
Cornerstone	Host	Sharer					
(CS) 13135	(VF) 79602	(02) N/A					
Site Address / Contact Details							
BURY OLD ROAD PRESTWICH MANCHESTER M25 0EG							
Drawing Title: PROPOSED SITE PLAN							
Purpose of Issue: PLANNING							
Drawing Number: 200							
Scale:	As Shown	Drawn:	SPD	Date:	17.02.12	Issue:	
Checked:	SH	Date:	17.02.12	Approved:	AB	Date:	17.02.12
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